

**2010****WASHINGTON STATE****Joint Aquatic Resources Permit  
Application (JARPA) Form<sup>1</sup>**

USE BLACK OR BLUE INK TO ENTER ANSWERS IN WHITE SPACES BELOW.

US Army Corps  
of Engineers  
Seattle District

AGENCY USE ONLY

Date received:

Agency reference #:

Tax Parcel #(s):

**RECEIVED**

JAN 30 2014

**Part 1–Project Identification****1. Project Name** (A name for your project that you create. Examples: Smith's Dock or Seabrook Lane Development) [\[help\]](#)

Cordata Center Residential

**Part 2–Applicant**The person or organization responsible for the project. [\[help\]](#)**2a. Name** (Last, First, Middle) and Organization (if applicable)

Murray, Blair of Tin Rock Development

**2b. Mailing Address** (Street or PO Box)

1708 F Street

**2c. City, State, Zip**

Bellingham, WA 98225

**2d. Phone (1)**

(360 ) 220-0404

**2e. Phone (2)**

( )

**2f. Fax**

( )

**2g. E-mail**

blair@tinrockdevelopment.com

**Part 3–Authorized Agent or Contact**Person authorized to represent the applicant about the project. (Note: Authorized agent(s) must sign 11b. of this application.) [\[help\]](#)**3a. Name** (Last, First, Middle) and Organization (if applicable)

Jackson, Vikki of Northwest Ecological Services, LLC

**3b. Mailing Address** (Street or PO Box)

1911 C Street

<sup>1</sup> Additional forms may be required for the following permits:

- If your project may qualify for Department of the Army authorization through a Regional General Permit (RGP), contact the U.S. Army Corps of Engineers for application information (206) 764-3495.
- If your project might affect species listed under the Endangered Species Act, you will need to fill out a Specific Project Information Form (SPIF) or prepare a Biological Evaluation. Forms can be found at [http://www.nws.usace.army.mil/PublicMenu/Menu.cfm?sitename=REG&pagename=mainpage\\_ESA](http://www.nws.usace.army.mil/PublicMenu/Menu.cfm?sitename=REG&pagename=mainpage_ESA)
- If you are applying for an Aquatic Resources Use Authorization you will need to fill out and submit an Application for Authorization to Use State-Owned Aquatic Lands form to DNR, which can be found at [http://www.dnr.wa.gov/Publications/aqr\\_use\\_auth\\_app.doc](http://www.dnr.wa.gov/Publications/aqr_use_auth_app.doc)
- Not all cities and counties accept the JARPA for their local Shoreline permits. If you think you will need a Shoreline permit, contact the appropriate city or county government to make sure they will accept the JARPA.

<sup>2</sup> To access an online JARPA form with [\[help\]](#) screens, go to[http://www.epermitting.wa.gov/site/alias\\_\\_resourcecenter/jarpa\\_jarpa\\_form/9984/jarpa\\_form.aspx](http://www.epermitting.wa.gov/site/alias__resourcecenter/jarpa_jarpa_form/9984/jarpa_form.aspx).For other help, contact the Governor's Office of Regulatory Assistance at 1-800-917-0043 or [help@ora.wa.gov](mailto:help@ora.wa.gov).

<b>3c. City, State, Zip</b>			
Bellingham, WA 98225			
<b>3d. Phone (1)</b>	<b>3e. Phone (2)</b>	<b>3f. Fax</b>	<b>3g. E-mail</b>
(360)739-9484	(360)319-6988	( 360)734-9484	vikki@nwecological.com

## Part 4–Property Owner(s)

Contact information for people or organizations owning the property(ies) where the project will occur. [\[help\]](#)

- ☐ Same as applicant. (Skip to Part 5.)
- ☐ Repair or maintenance activities on existing rights-of-way or easements. (Skip to Part 5.)
- ☒ There are multiple property owners. Complete the section below and fill out JARPA Attachment A for each additional property owner.

<b>4a. Name (Last, First, Middle) and Organization (if applicable)</b>			
Cordata Investment, LLC (this is the primary development site owner)			
<b>4b. Mailing Address (Street or PO Box)</b>			
1708 F Street			
<b>4c. City, State, Zip</b>			
Bellingham, WA 98225			
<b>4d. Phone (1)</b>	<b>4e. Phone (2)</b>	<b>4f. Fax</b>	<b>4g. E-mail</b>
(360) 220-0404	( )	( )	blairmurray@comcast.net

## Part 5–Project Location(s)

Identifying information about the property or properties where the project will occur. [\[help\]](#)

- ☒ There are multiple project locations (e.g., linear projects). Complete the section below and use JARPA Attachment B for each additional project location.

<b>5a. Indicate the type of ownership of the property. (Check all that apply.)</b> <a href="#">[help]</a>
<input type="checkbox"/> State Owned Aquatic Land (If yes or maybe, contact the Department of Natural Resources (DNR) at (360) 902-1100) <input type="checkbox"/> Federal <input type="checkbox"/> Other publicly owned (state, county, city, special districts like schools, ports, etc.) <input type="checkbox"/> Tribal <input checked="" type="checkbox"/> Private
<b>5b. Street Address (Cannot be a PO Box. If there is no address, provide other location information in 5p.)</b> <a href="#">[help]</a>
No street address. In general project parcels are bound by Cordata Parkway to the west, Horton Road to the north, and property lines to the east and south.
<b>5c. City, State, Zip (If the project is not in a city or town, provide the name of the nearest city or town.)</b> <a href="#">[help]</a>
Bellingham, WA
<b>5d. County</b> <a href="#">[help]</a>
Whatcom

**5e.** Provide the section, township, and range for the project location. [\[help\]](#)

¼ Section	Section	Township	Range
	1 and 12	38 north	02 east W.M.

**5f.** Provide the latitude and longitude of the project location. [\[help\]](#)

- Example: 47.03922 N lat. / -122.89142 W long. (NAD 83)

48.4811 N lat./-122.2940 W long

**5g.** List the tax parcel number(s) for the project location. [\[help\]](#)

- The local county assessor's office can provide this information.

380201 430035	380212 386563
388020	410562
420015	353541
429002	382550
	398540
	421547
	346520
	361513
	415515
	355490
	410480
	352450
	400445
	328424
	388423
	416397
	353375

**5h.** Contact information for all adjoining property owners. (If you need more space, use JARPA Attachment C.) [\[help\]](#)

Name	Mailing Address	Tax Parcel # (if known)
4577 MERIDIAN LLC	826 BRIAR RD	380201 434110 0000
	BELLINGHAM WA 98225-7829	
ELITE DEVELOPMENTS INC	P O BOX 2069	380201 471043 0000
	BELLINGHAM WA 98227-2069	
GOLDEN GATE INVESTMENTS INC	3262 164 ST	380212 443512 0000
	SURREY BC	
	CANADA V3S 0G5	
TSUI-LI HORNG	3838 OSLER ST	380212 461438 0000
	VANCOUVER BC	
	CANADA V6H 2W8	

**5i.** List all wetlands on or adjacent to the project location. [\[help\]](#)

Twenty-two (22) wetlands and one stream were identified within the project site. Wetlands A, C, D, P, and X are palustrine emergent, depressional outflow, DOE Category III wetlands. Wetlands B, E, G, H, I, K, R, V, and Z are palustrine emergent, depressional closed, DOE Category III wetlands. Wetland Y is a palustrine forested/emergent, depressional outflow, DOE Category I wetland. Wetlands F, J, T, U, and W are palustrine emergent, DOE Category III wetlands that have both depressional outflow and slope components. Wetland M has two units. Unit A is a palustrine forested/emergent, depressional, DOE Category III wetland. Unit B is a palustrine emergent, riverine, DOE Category II wetland. Wetland S is a palustrine emergent, slope, DOE Category IV wetland. See delineation report for details.

**5j.** List all waterbodies (other than wetlands) on or adjacent to the project location. [\[help\]](#)

A seasonal unnamed stream is located on site, within Wetland M. The center line of the stream appears to be along part of the northern property line.

**5k.** Is any part of the project area within a 100-year flood plain? [\[help\]](#)

☐ Yes ☒ No ☐ Don't know

**5l.** Briefly describe the vegetation and habitat conditions on the property. [\[help\]](#)

The project site is dominated by a mixture of non-native pasture grasses and weedy herbaceous species. The site appears to be occasionally mowed, but was not maintained at the time of the site visits. Two dominant vegetation communities were observed on-site: upland meadow, and palustrine emergent wetland.

An upland meadow community is located throughout the project area and is the dominant community on-site. Species observed in the UM community included bentgrass (*Agrostis sp.*), tall fescue (*Festuca arundinacea*), red fescue (*Festuca rubra*), orchardgrass (*Dactylis glomerata*), sweet vernalgrass (*Anthoxanthum odoratum*), timothy (*Phleum pratense*), tall buttercup (*Ranunculus acris*), English plantain (*Plantago lanceolata*), red clover (*Trifolium pratense*), and Canadian thistle (*Cirsium arvense*).

A PEM wetland community is located in all wetlands within the project area. In most wetlands, the PEM community is dominated by reed canarygrass (*Phalaris arundinacea*) an invasive species. Additional species observed in PEM wetlands included soft rush (*Juncus effusus*), velvetgrass (*Holcus lanatus*), bentgrass, red fescue, meadow fox-tail (*Alopecurus pratensis*), quackgrass (*Elytrigia repens*), creeping buttercup (*Ranunculus repens*), slough sedge (*Carex obnupta*), and wooley sedge (*Scirpus atrocinctus*).

Wetlands C, M, W, and Y appear to extend off-site to the east. The off-site portions these wetlands are forested, and include a mixture of primarily native trees and shrubs, but also contain scrub-shrub areas and open ponds. A limited number of shrubs were observed in wetlands and uplands in the southern portion of the project site, but they do not cover more than 10 percent of the on-site area.

**5m.** Describe how the property is currently used. [\[help\]](#)

The property is currently undeveloped and is hayed once to twice a year. Adjacent residents use the site as open space.

**5n.** Describe how the adjacent properties are currently used. [\[help\]](#)

Surrounding land use is mixed commercial, light industrial and residential development. The right-of-way for Stuart Road extends into a portion of the southern project area. However, the road has not yet been constructed through the project site. Parcels at the intersection of Cordata Parkway and Horton Road, and Cordata Parkway and Stuart Road are both developed with commercial mixed use development. Parcels to the east are undeveloped and forested.

**5o.** Describe the structures (above and below ground) on the property, including their purpose(s). [\[help\]](#)

None present, except for a stormwater control feature at the outlet of Wetland A.

**5p.** Provide driving directions from the closest highway to the project location, and attach a map. [\[help\]](#)

Access from I-5 in Bellingham at Exit 256 (Guide Meridian Street). Turn right (north) and continue until Kellogg Road. Turn left (west) on Kellogg and turn right (north) at the traffic circle at Cordata Parkway. Go about 0.34 miles north on Cordata Parkway. The site is situated on the east side of Cordata Parkway between Stuart Road and Horton Road. Map attached.

## Part 6–Project Description

**6a.** Summarize the overall project. You can provide more detail in 6d. [\[help\]](#)

The proposed project includes construction of "Cordata Center Residential" a residential development with commercial amenities on the 39.08 (+/-) acre site. Residential areas would include both multi and single family housing. The project will also provide associated road and utilities (water, sewer, stormwater), and an easement for a City trail.

**6b.** Indicate the project category. (Check all that apply) [\[help\]](#)

- ☒ Commercial
 ☒ Residential
 ☐ Institutional
 ☐ Transportation
 ☐ Recreational  
☐ Maintenance
 ☐ Environmental Enhancement

**6c.** Indicate the major elements of your project. (Check all that apply) [\[help\]](#)

- |   |   |  |   |
|---|---|--|---|
| <input type="checkbox"/> Aquaculture          | <input type="checkbox"/> Culvert              | <input type="checkbox"/> Float                   | <input checked="" type="checkbox"/> Road                |
| <input type="checkbox"/> Bank Stabilization   | <input type="checkbox"/> Dam / Weir           | <input type="checkbox"/> Geotechnical Survey     | <input type="checkbox"/> Scientific Measurement Device  |
| <input type="checkbox"/> Boat House           | <input type="checkbox"/> Dike / Levee / Jetty | <input type="checkbox"/> Land Clearing           | <input type="checkbox"/> Stairs                         |
| <input type="checkbox"/> Boat Launch          | <input type="checkbox"/> Ditch                | <input type="checkbox"/> Marina / Moorage        | <input checked="" type="checkbox"/> Stormwater facility |
| <input type="checkbox"/> Boat Lift            | <input type="checkbox"/> Dock / Pier          | <input type="checkbox"/> Mining                  | <input type="checkbox"/> Swimming Pool                  |
| <input type="checkbox"/> Bridge               | <input type="checkbox"/> Dredging             | <input type="checkbox"/> Outfall Structure       | <input type="checkbox"/> Utility Line                   |
| <input type="checkbox"/> Bulkhead             | <input type="checkbox"/> Fence                | <input type="checkbox"/> Piling                  |   |
| <input type="checkbox"/> Buoy                 | <input type="checkbox"/> Ferry Terminal       | <input type="checkbox"/> Retaining Wall (upland) |   |
| <input type="checkbox"/> Channel Modification | <input type="checkbox"/> Fishway              |  |   |

☒ Other: mixed use development

**6d.** Describe how you plan to construct each project element checked in 6c. Include specific construction methods and equipment to be used. [\[help\]](#)

- Identify where each element will occur in relation to the nearest waterbody.
- Indicate which activities are within the 100-year flood plain.

Please see mitigation plan.

**6e.** What are the start and end dates for project construction? (month/year) [\[help\]](#)

- If the project will be constructed in phases or stages, use JARPA Attachment D to list the start and end dates of each phase or stage.

Start date: 2014

End date: 2016

☒ See JARPA Attachment D

**6f.** Describe the purpose of the project and why you want or need to perform it. [\[help\]](#)

The proposed project includes construction of "Cordata Center Residential" a residential development with incidental commercial amenities. Residential areas would include both multi and single family housing. Wetlands are located throughout the property and impact is unavoidable if development of site is to occur with current zoning.

**6g.** Fair market value of the project, including materials, labor, machine rentals, etc. [\[help\]](#)

Approximately \$8,851,392.

**6h.** Will any portion of the project receive federal funding? [\[help\]](#)

- If yes, list each agency providing funds.

☐ Yes ☒ No ☐ Don't know

## Part 7–Wetlands: Impacts and Mitigation

☒ Check here if there are wetlands or wetland buffers on or adjacent to the project area.  
(If there are none, skip to Part 8.) [\[help\]](#)

**7a.** Describe how the project has been designed to avoid and minimize adverse impacts to wetlands. [\[help\]](#)

☐ Not applicable

**Avoid.** The project will avoid directly impacting the WDOE Category I wetland (Y), and all or the majority of Wetlands A, C, M, X, V, and Stream 1. Impacts to other site wetlands are un-avoidable in order to obtain the density required under the Master Plan for this site. Priority has been placed on avoiding higher quality/ functioning wetlands and/or wetlands that have potential because they connect to higher quality/ functioning forested habitat to the east.

**Minimize.** Wetlands, streams, or associated buffers are located over a large portion of the project site. Therefore, impacts to site critical areas are unavoidable if the proposed project is to proceed at the density designated under the current Master Plan. The project team, including NES staff, have designed and reviewed numerous site layout alternatives and during the designs process, and designed the project in order to minimize wetland and stream impacts to the greatest extent possible, by the following:

- Impacts (fill) are proposed in wetlands that provide functions at a lower level, while higher functioning wetlands, wetlands adjacent to higher quality habitat, and the corridor along Stream 1 shall remain intact.
- The standard width of the regulated buffer shall be retained around most retained wetlands, where feasible. Proposed reductions do not exceed the 25-percent reduction allowed with COB director authority as described in BMC 16.55.340 (C)(2).
- Other measures to minimize impacts to retained wetlands and buffers include: directing light away from buffers, establishing a covenant that prohibits use of pesticide, fertilizer and fungicide within 150 feet of wetlands, and fencing, signage and conservation easements to protect and preserve mitigation areas.

**Rectify.** Due to construction within the proximity of numerous wetlands and streams, temporary water quality impacts associated with erosion and/or siltation of surface waters could potentially result. All contractors working on-site shall adhere to the following:

- Disturbance to retained wetlands and buffers will be minimized by staking the buffer limits with a high visibility (orange) construction fence. If any area within the fencing is disturbed during construction, NES shall be notified to make an assessment, and the areas shall be restored to naturally occurring grades to restore pre-construction surface storm flows as much as possible. This is important not so much to protect vegetation, but the condition of the soil in these areas.
- All earthwork within wetlands, streams, or buffers to accomplish mitigation activities will occur between June and September to minimize the potential for erosion.
- The contractor shall adhere to BMP's outlined in this mitigation plan, and any other BMP's listed in the construction documents which may include, but are not limited to, silt fences, mulch or compost berms, straw rolls, temporary construction entrances, catch basin inserts, and tree protection.

**Reduce or Eliminate the Hazard by Preservation and Maintenance Operations.** The proposed mitigation areas shall be protected by fencing and/or signage, and shall be placed under a permanent conservation easement or covenant to prevent future development. Fencing shall be installed on-site in order to protect retained wetlands, streams, and associated buffers and discourage human and pet intrusion in the buffer. See

the Project Protection Section(s) below for details and specifications.

**7b.** Will the project impact wetlands? [\[help\]](#)

☒ Yes ☐ No ☐ Don't know

**7c.** Will the project impact wetland buffers? [\[help\]](#)

☒ Yes ☐ No ☐ Don't know

**7d.** Has a wetland delineation report been prepared? [\[help\]](#)

- If yes, submit the report, including data sheets, with the JARPA package.

☒ Yes ☐ No

**7e.** Have the wetlands been rated using the Western Washington or Eastern Washington Wetland Rating System? [\[help\]](#)

- If yes, submit the wetland rating forms and figures with the JARPA package.

☒ Yes ☐ No ☐ Don't know

**7f.** Have you prepared a mitigation plan to compensate for any adverse impacts to wetlands? [\[help\]](#)

- If yes, submit the plan with the JARPA package and answer 7g.
- If No, or Not applicable, explain below why a mitigation plan should not be required.

☒ Yes ☐ No ☐ Not applicable

**7g.** Summarize what the mitigation plan is meant to accomplish, and describe how a watershed approach was used to design the plan. [\[help\]](#)

Mitigation for impacts is proposed through both on and off-site mitigation. The proposed mitigation includes a combination of approaches including wetland creation, wetland enhancement, buffer enhancement, and wetland preservation. The selected mitigating actions were based on the needs identified within the given Watersheds. The proposed mitigation is intended to maintain or increase functions over existing conditions as described below:

- **Water Quality Function.** In order to compensate for reductions in water quality function due to proposed development, the applicant has proposed wetland creation, and wetland and buffer enhancement. Functional improvement will be provided through the addition of woody plant material in areas where it is currently limited. Vegetation serves a number of important functions to improve water quality and run-off rates. Vegetation acts through a variety of manners, including interception, evapotranspiration, conveyance attenuation, temperature moderation, and photoremediation to reduce runoff rates and improve water quality. These processes serve to retain, detain, cool water, and reduce pollutants in runoff. The greater the vegetation structure the more potential the buffer has to detain and cleanse runoff.

Engineered on-site stormwater facilities will further increase water quality improvement and treatment of run-off from the project site. All phases of construction shall follow BMP's detailed in the current DOE Stormwater Manual to prevent erosion and sediment entering surface waters.

- **Hydrology Function.** Wetland creation and enhancement and a state of the art stormwater design are intended to replace lost water storage capacity and maintain hydrology functions. Planting native trees and/or shrubs within the on- and off-site wetlands and buffers is intended to increase the degree of rainwater interception and year round water uptake within the biomass of woody plants. Woody plants will also add increased friction to decrease the runoff velocity of surface waters, and increase the stormwater functions within the project area. In addition, the application of mulch will further increase infiltration capacity, slow stormwater run-off, and promote pollutant removal through biological soil activity.

The engineered stormwater facilities will assist to limit impacts to remaining on-site wetlands by

providing hydrology to remaining wetlands at pre-development levels in each basin.

- **Thermal Protection Function.** No impact has been proposed, however, this function will be increased by planting trees and/or shrubs in wetlands and buffer areas both on- and off-site. Multiple layers of vegetation will help ensure good shade cover over all mitigation areas in areas which currently lack this function. Proposed stormwater treatment ponds may result in increased surface water temperatures, but should not have any net adverse affect to down stream fish bearing waters.
- **Wildlife Habitat Function.** The off-site mitigation site is a key wildlife corridor within the Bear Creek and Silver Creek watersheds. The applicant and the COB have procured this significant property. Establishing a more diverse native plant community within all mitigation areas will increase the habitat suitability to a wider variety of wildlife species in both the on- and off-site mitigation areas. Habitat features shall be installed in both on- and off-site mitigation areas to further enhance this function. Buffer enhancements will take place between the on-site development and retained wetlands to provide screening. Fencing and/or hedges will be installed to detour human and pet disturbance in the wetlands, streams, or buffers. The proposed future park will be established to protect and enhance these functions.

**7h.** Use the table below to list the type and rating of each wetland impacted; the extent and duration of the impact; and the type and amount of mitigation proposed. Or if you are submitting a mitigation plan with a similar table, you can state (below) where we can find this information in the plan. [\[help\]](#)

Activity (fill, drain, excavate, flood, etc.)	Wetland Name <sup>1</sup>	Wetland type and rating category <sup>2</sup>	Impact area (sq. ft. or Acres)	Duration of impact <sup>3</sup>	Proposed mitigation type <sup>4</sup>	Wetland mitigation area (sq. ft. or acres)
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See Tables 3 and 8 in attached mitigation plan.

Total Wetland Fill	n/a	III	5.06	Permanent	C, E, P	5.53 C
Total Wetland Fill	n/a	IV	0.44	Permanent	C, E, P	15.77 Wetland E 12.93 Buffer E 1.47 P
Bear Creek Preserve Trail Fill	n/a	III	0.01	Permanent	C	0.04 C 0.5 buffer E

<sup>1</sup> If no official name for the wetland exists, create a unique name (such as "Wetland 1"). The name should be consistent with other project documents, such as a wetland delineation report.

<sup>2</sup> Ecology wetland category based on current Western Washington or Eastern Washington Wetland Rating System. Provide the wetland rating forms with the JARPA package.

<sup>3</sup> Indicate the days, months or years the wetland will be measurably impacted by the activity. Enter "permanent" if applicable.

<sup>4</sup> Creation (C), Re-establishment/Rehabilitation (R), Enhancement (E), Preservation (P), Mitigation Bank/In-lieu fee (B)

Page number(s) for similar information in the mitigation plan, if available: Tables 3 (page 13) and 8(pg 34)

**7i.** For all filling activities identified in 7h., describe the source and nature of the fill material, the amount in cubic yards that will be used, and how and where it will be placed into the wetland. [\[help\]](#)

Fill source will originate from site. The cubic yards have not been determined to date. It will be placed in wetlands as site grading occurs.

**7j.** For all excavating activities identified in 7h., describe the excavation method, type and amount of material in cubic yards you will remove, and where the material will be disposed. [\[help\]](#)

N/A



## Part 8—Waterbodies (other than wetlands): Impacts and Mitigation

In Part 8, “waterbodies” refers to non-wetland waterbodies. (See Part 7 for information related to wetlands.) [\[help\]](#)

☒ Check here if there are waterbodies on or adjacent to the project area. (If there are none, skip to Part 9.)

**8a.** Describe how the project is designed to avoid and minimize adverse impacts to the aquatic environment. [\[help\]](#)

☐ Not applicable

See 7a above.

**8b.** Will your project impact a waterbody or the area around a waterbody? [\[help\]](#)

☒ Yes ☐ No

**8c.** Have you prepared a mitigation plan to compensate for the project’s adverse impacts to non-wetland waterbodies? [\[help\]](#)

- If **yes**, submit the plan with the JARPA package and answer 8d.
- If **No**, or **Not applicable**, explain below why a mitigation plan should not be required.

☒ Yes ☐ No ☐ Not applicable

No direct stream impact is proposed. The site plan includes a buffer reduction.

**8d.** Summarize what the mitigation plan is meant to accomplish. Describe how a watershed approach was used to design the plan.

- If you already completed 7g., you do not need to restate your answer here. [\[help\]](#)

See 7d. above

**8e.** Summarize impact(s) to each waterbody in the table below. [\[help\]](#)

Activity (clear, dredge, fill, pile drive, etc.)	Waterbody name <sup>1</sup>	Impact location <sup>2</sup>	Duration of impact <sup>3</sup>	Amount of material to be placed in or removed from waterbody	Area (sq. ft. or linear ft.) of waterbody directly affected
See Tables 3 and 8 in mitigation plan.					

<sup>1</sup> If no official name for the waterbody exists, create a unique name (such as “Stream 1”) The name should be consistent with other documents provided.

<sup>2</sup> Indicate whether the impact will occur in or adjacent to the waterbody. If adjacent, provide the distance between the impact and the waterbody and indicate whether the impact will occur within the 100-year flood plain.

<sup>3</sup> Indicate the days, months or years the waterbody will be measurably impacted by the work. Enter “permanent” if applicable.

**8f.** For all activities identified in 8e., describe the source and nature of the fill material, amount (in cubic yards) you will use, and how and where it will be placed into the waterbody. [\[help\]](#)

See 7f.

**8g.** For all excavating or dredging activities identified in 8e., describe the method for excavating or dredging, type and amount of material you will remove, and where the material will be disposed. [\[help\]](#)

n/a

## Part 9—Additional Information

Any additional information you can provide helps the reviewer(s) understand your project. Complete as much of this section as you can. It is ok if you cannot answer a question.

<b>9a.</b> If you have already worked with any government agencies on this project, list them below. <a href="#">[help]</a>			
Agency Name	Contact Name	Phone	Most Recent Date of Contact
USACOE	Randel Perry	(360) 734-3156	
DOE	Susan Meyer	(425) 649-7168	
City of Bellingham	Kathy Bell/Kim Weil	(360) 778-8347	
<b>9b.</b> Are any of the wetlands or waterbodies identified in Part 7 or Part 8 on the Washington Department of Ecology's 303(d) List? <a href="#">[help]</a> <ul style="list-style-type: none"><li>• If yes, list the parameter(s) below.</li><li>• If you don't know, use Washington Department of Ecology's Water Quality Assessment tools at: <a href="http://www.ecy.wa.gov/programs/wq/303d/">http://www.ecy.wa.gov/programs/wq/303d/</a>.</li></ul> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
<b>9c.</b> What U.S. Geological Survey Hydrological Unit Code (HUC) is the project in? <a href="#">[help]</a> <ul style="list-style-type: none"><li>• Go to <a href="http://cfpub.epa.gov/surf/locate/index.cfm">http://cfpub.epa.gov/surf/locate/index.cfm</a> to help identify the HUC.</li></ul> 17110002			
<b>9d.</b> What Water Resource Inventory Area Number (WRIA #) is the project in? <a href="#">[help]</a> <ul style="list-style-type: none"><li>• Go to <a href="http://www.ecy.wa.gov/services/gis/maps/wria/wria.htm">http://www.ecy.wa.gov/services/gis/maps/wria/wria.htm</a> to find the WRIA #.</li></ul> WIRA1			
<b>9e.</b> Will the in-water construction work comply with the State of Washington water quality standards for turbidity? <a href="#">[help]</a> <ul style="list-style-type: none"><li>• Go to <a href="http://www.ecy.wa.gov/programs/wq/swqs/criteria.html">http://www.ecy.wa.gov/programs/wq/swqs/criteria.html</a> for the standards.</li></ul> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not applicable			
<b>9f.</b> If the project is within the jurisdiction of the Shoreline Management Act, what is the local shoreline environment designation? <a href="#">[help]</a> <ul style="list-style-type: none"><li>• If you don't know, contact the local planning department.</li><li>• For more information, go to: <a href="http://www.ecy.wa.gov/programs/sea/sma/laws_rules/173-26/211_designations.html">http://www.ecy.wa.gov/programs/sea/sma/laws_rules/173-26/211_designations.html</a>.</li></ul> <input type="checkbox"/> Rural <input type="checkbox"/> Urban <input type="checkbox"/> Natural <input type="checkbox"/> Aquatic <input type="checkbox"/> Conservancy <input type="checkbox"/> Other _____			
<b>9g.</b> What is the Washington Department of Natural Resources Water Type? <a href="#">[help]</a> <ul style="list-style-type: none"><li>• Go to <a href="http://www.dnr.wa.gov/BusinessPermits/Topics/ForestPracticesApplications/Pages/fp_watertyping.aspx">http://www.dnr.wa.gov/BusinessPermits/Topics/ForestPracticesApplications/Pages/fp_watertyping.aspx</a> for the Forest Practices Water Typing System.</li></ul> <input type="checkbox"/> Shoreline <input type="checkbox"/> Fish <input type="checkbox"/> Non-Fish Perennial <input checked="" type="checkbox"/> Non-Fish Seasonal			
<b>9h.</b> Will this project be designed to meet the Washington Department of Ecology's most current stormwater manual? <a href="#">[help]</a> <ul style="list-style-type: none"><li>• If no, provide the name of the manual your project is designed to meet.</li></ul>			

<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Name of manual: 2012 manual
<b>9i.</b> If you know what the property was used for in the past, describe below. <a href="#">[help]</a>
It has been used as a hay field for many years.
<b>9j.</b> Has a cultural resource (archaeological) survey been performed on the project area? <a href="#">[help]</a>
• If yes, attach it to your JARPA package.
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<b>9k.</b> Name each species listed under the federal Endangered Species Act that occurs in the vicinity of the project area or might be affected by the proposed work. <a href="#">[help]</a>
None documented on PHS data
<b>9l.</b> Name each species or habitat on the Washington Department of Fish and Wildlife's Priority Habitats and Species List that might be affected by the proposed work. <a href="#">[help]</a>
None

## Part 10–SEPA Compliance and Permits

Use the resources and checklist below to identify the permits you are applying for.

- Online Project Questionnaire at <http://apps.ecy.wa.gov/opas/>.
- Governor's Office of Regulatory Assistance at (800) 917-0043 or [help@ora.wa.gov](mailto:help@ora.wa.gov).
- For a list of agency addresses to send your application, click on the "where to send your completed JARPA" at <http://www.epermitting.wa.gov>.

<b>10a.</b> Compliance with the State Environmental Policy Act (SEPA). (Check all that apply.) <a href="#">[help]</a>
• For more information about SEPA, go to <a href="http://www.ecy.wa.gov/programs/sea/sepa/e-review.html">www.ecy.wa.gov/programs/sea/sepa/e-review.html</a> .
<input checked="" type="checkbox"/> A copy of the SEPA determination or letter of exemption is included with this application.
<input type="checkbox"/> A SEPA determination is pending with ____ (lead agency). The expected decision date is
<input type="checkbox"/> I am applying for a Fish Habitat Enhancement Exemption. (Check the box below in 10b.) <a href="#">[help]</a>
<input type="checkbox"/> This project is exempt (choose type of exemption below).
<input type="checkbox"/> Categorical Exemption. Under what section of the SEPA administrative code (WAC) is it exempt?
<input type="checkbox"/> Other: _____
<input type="checkbox"/> SEPA is pre-empted by federal law.
<b>10b.</b> Indicate the permits you are applying for. (Check all that apply.) <a href="#">[help]</a>
<b>LOCAL GOVERNMENT</b>
<b>Local Government Shoreline permits:</b>
<input type="checkbox"/> Substantial Development <input type="checkbox"/> Conditional Use <input type="checkbox"/> Variance
<input type="checkbox"/> Shoreline Exemption Type (explain): _____
<b>Other city/county permits:</b>

<input type="checkbox"/> Floodplain Development Permit <input checked="" type="checkbox"/> Critical Areas Ordinance
<b>STATE GOVERNMENT</b>
<b>Washington Department of Fish and Wildlife:</b> <input checked="" type="checkbox"/> Hydraulic Project Approval (HPA) <input type="checkbox"/> Fish Habitat Enhancement Exemption
<b>Washington Department of Ecology:</b> <input checked="" type="checkbox"/> Section 401 Water Quality Certification
<b>Washington Department of Natural Resources:</b> <input type="checkbox"/> Aquatic Resources Use Authorization
<b>FEDERAL GOVERNMENT</b>
<b>United States Department of the Army permits (U.S. Army Corps of Engineers):</b> <input checked="" type="checkbox"/> Section 404 (discharges into waters of the U.S.) <input type="checkbox"/> Section 10 (work in navigable waters)
<b>United States Coast Guard permits:</b> <input type="checkbox"/> General Bridge Act Permit <input type="checkbox"/> Private Aids to Navigation (for non-bridge projects)

## Part 11—Authorizing Signatures

Signatures are required before submitting the JARPA package. The JARPA package includes the JARPA form, project plans, photos, etc. [\[help\]](#)

### 11a. Applicant Signature (required) [\[help\]](#)

I certify that to the best of my knowledge and belief, the information provided in this application is true, complete, and accurate. I also certify that I have the authority to carry out the proposed activities, and I agree to start work only after I have received all necessary permits.

I hereby authorize the agent named in Part 3 of this application to act on my behalf in matters related to this application. \_\_\_\_\_ (Initial)

By initialing here, I state that I have the authority to grant access to the property. I also give my consent to the permitting agencies entering the property where the project is located to inspect the project site or any work related to the project. \_\_\_\_\_ (Initial)

Blair Murray, Tin Rock Development

Applicant Printed Name

Applicant Signature

21 JAN 2014.  
Date

### 11b. Authorized Agent Signature [\[help\]](#)

I certify that to the best of my knowledge and belief, the information provided in this application is true, complete, and accurate. I also certify that I have the authority to carry out the proposed activities and I agree to start work only after all necessary permits have been issued.

Vikki Jackson,  
Northwest Ecological Services, LLC

Authorized Agent Printed Name

Authorized Agent Signature

1/21/14  
Date

### 11c. Property Owner Signature (if not applicant). [\[help\]](#)

Not required if project is on existing rights-of-way or easements.

I consent to the permitting agencies entering the property where the project is located to inspect the project site or any work. These inspections shall occur at reasonable times and, if practical, with prior notice to the landowner.

Property Owner Printed Name

Property Owner Signature

Date

18 U.S.C §1001 provides that: Whoever, in any manner within the jurisdiction of any department or agency of the United States knowingly falsifies, conceals, or covers up by any trick, scheme, or device a material fact or makes any false, fictitious, or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious, or fraudulent statement or entry, shall be fined not more than \$10,000 or imprisoned not more than 5 years or both.

If you require this document in another format, contact The Governor's Office of Regulatory Assistance (ORA). People with hearing loss can call 711 for Washington Relay Service. People with a speech disability can call (877) 833-6341.  
ORA publication number: ENV-019-09





2009



US Army Corps  
of Engineers  
Seattle District

**WASHINGTON STATE**  
**Joint Aquatic Resources Permit**  
**Application (JARPA) Form** [\[help\]](#)

**JARPA Attachment A:**  
**For additional property owner(s)** [\[help\]](#)

Use this attachment only if you have more than one property owner.

Use black or blue ink to enter answers in white spaces below.

<b>4a. Name (Last, First, Middle) and Organization (If applicable)</b>			
City of Bellingham Parks and Recreation Department – contact Tim Wahl			
<b>4b. Mailing Address (Street or PO Box)</b>			
3424 Meridian Street			
<b>4c. City, State, Zip</b>			
Bellingham, WA 98225			
<b>4d. Phone (1)</b>	<b>4e. Phone (2)</b>	<b>4f. Fax</b>	<b>4g. E-mail</b>
( 360 ) 778-7000	( )	(360 ) 778-7001	twahl@cob.org
Address or tax parcel number of property you own:			
<b>Bear Creek Preserve for off-site mitigation (parcels 380202 333346; 380202 150361)</b>			
<b>Signature of Property Owner</b>			
<u>Leslie Bryson, Design Dev. Mgr.</u>		<u>[Signature]</u>	
Printed Name		Signature	

AGENCY USE ONLY
Date received: _____
Agency reference #: _____
Tax Parcel #(s): _____
TO BE COMPLETED BY APPLICANT <a href="#">[help]</a>
UPI #: _____
Project Name: <b>Cordata Center High Tech</b>

If you require this document in another format, contact The Governor's Office of Regulatory Assistance (ORA). People with hearing loss can call 711 for Washington Relay Service. People with a speech disability can call (877) 833-6341.  
ORA publication number: ENV-020-09







2010



US Army Corps  
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**WASHINGTON STATE**  
**Joint Aquatic Resources Permit**  
**Application (JARPA) Form** [\[help\]](#)

**JARPA Attachment B:**  
**For additional project location(s)** [\[help\]](#)

Use this attachment only if you have more than one project location.  
Use a separate form for each additional location.

Use black or blue ink to enter answers in white spaces below.

AGENCY USE ONLY

Date received: \_\_\_\_\_

Agency reference #: \_\_\_\_\_

Tax Parcel #(s): \_\_\_\_\_

TO BE COMPLETED BY APPLICANT [\[help\]](#)

Project Name: Cordata Center Residential

Location Name (if applicable): Additional project location is the off-site mitigation site- Bear Creek Preserve.

**5a. Indicate the type of ownership of the property. (Check all that apply.)** [\[help\]](#)

- ☐ State Owned Aquatic Land (If yes or maybe, contact the Department of Natural Resources (DNR) at (360) 902-1100)
- ☐ Federal
- ☒ Other publicly owned (state, county, city, special districts like schools, ports, etc.)
- ☐ Tribal
- ☐ Private

**5b. Street Address** (Cannot be a PO Box. If there is no address, provide other location information in 5n.) [\[help\]](#)

No address, located on Northwest Drive. Property entrance to site located 0.2 miles south of Slater Road and Northwest Drive intersection.

**5c. City, State, Zip** (If the project is not in a city or town, provide the name of the nearest city or town.) [\[help\]](#)

Bellingham, WA 98226

**5d. County** [\[help\]](#)

Whatcom

**5e. Provide the section, township, and range for the project location.** [\[help\]](#)

¼ Section	Section	Township	Range
	02	38N	02 E

**5f. Provide the latitude and longitude of the project location.** [\[help\]](#)

- Example: 47.03922 N lat. / -122.89142 W long (NAD 83)

48.4851N lat./ -122.3133 W long

**5g. List the tax parcel number(s) for the project location.** [\[help\]](#)

- The local county assessor's office can provide this information.

380202150361 and 380202333346

<b>5h.</b> Contact information for all adjoining property owners. (If you need more space, use JARPA Attachment C.) <a href="#">[help]</a>		
Name	Mailing Address	Tax Parcel # (if known)
DALE K & JANE P JENSEN TR	4796 NORTHWEST DR BELLINGHAM, WA 98226-9019	380202 100422
RON L & MARY L JOBES	1012 38TH ST BELLINGHAM, WA 98229-3130	380202 149432
D HEFFRING INVESTMENTS INC	2200 RIMLAND DR #205 BELLINGHAM, WA 98226-6639	380202 182432
GENE A & DELILAH A QUANZ	751 SLATER RD BELLINGHAM, WA 98226-8315	380202 215432
GENE A & DELILAH A QUANZ	751 SLATER RD BELLINGHAM, WA 98226-8315	380202 247432
MARGARET G ALLEN	5279 CHERRY TREE LN BLAINE, WA 98230-9356	380202 280432
MARGARET G ALLEN	5279 CHERRY TREE LN BLAINE, WA 98230-9356	380202 310442
RACELIA M GUNDERSON	2435 LEE WAY BELLINGHAM, WA 98226-9560	380202 402458
<b>5i.</b> List all wetlands on or adjacent to the project location. <a href="#">[help]</a>		
NES identified 12 wetlands on the site. Identified wetlands are primarily palustrine emergent, depressional wetlands with the exception of those located along on-site streams. WDOE wetland categories range from II to III. Wetland categorization is based on the Washington State Department of Ecology (WDOE) Wetland Rating System for Western Washington.		
<b>5j.</b> List all waterbodies (other than wetlands) on or adjacent to the project location. <a href="#">[help]</a>		
Bear Creek and an un-named tributary (Stream 1) are located within the review area.		
<b>5k.</b> Is any part of the project area within a 100-year flood plain? <a href="#">[help]</a>		
<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Don't know		
<b>5l.</b> Briefly describe the vegetation and habitat conditions on the property. <a href="#">[help]</a>		
The site is predominately fallow agricultural fields, dominated by reed canarygrass and other associated grass species. Shrub and forest patches interspersed, mostly along creek.		
<b>5m.</b> Describe how the property is currently used. <a href="#">[help]</a>		
The property is currently undeveloped and is mowed occasionally for hay. An old home site was located in the western edge of the site, but the buildings are no longer present. Details in the Archeology report.		
<b>5n.</b> Describe how the adjacent properties are currently used. <a href="#">[help]</a>		
Surrounding parcels have a similar use or are residential on acreage. A commercial kennel is located north of the site on Northwest Drive.		

<b>5o.</b> Describe the structures (above and below ground) on the property, including their purpose(s). <a href="#">[help]</a>
No structures. Informal trails throughout the site. A gas pipeline easement is located on the southern property line.
<b>5p.</b> Provide driving directions from the closest highway to the project location, and attach a map. <a href="#">[help]</a>
Take Exit 260/ Slater Road from I-5. Turn east on Slater Road and follow to Northwest Road. Turn right (south) onto Northwest Road and travel 0.2 miles. Property access is on east side of road with gate.

If you require this document in another format, contact The Governor's Office of Regulatory Assistance (ORA). People with hearing loss can call 711 for Washington Relay Service. People with a speech disability can call (877) 833-6341.  
ORA publication number: ENV-021-09



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**WASHINGTON STATE**  
**Joint Aquatic Resources Permit**  
**Application (JARPA) Form** [\[help\]](#)

**JARPA Attachment C:**  
**Contact information for adjoining**  
**property owners, lessees, etc.** [\[help\]](#)

Use this attachment only if you have more than four adjoining property owners.

AGENCY USE ONLY

Date received:

Agency reference #: \_\_\_\_\_

Tax Parcel #(s): \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_TO BE COMPLETED BY APPLICANT [\[help\]](#)

UPI #:

Project Name: Cordata Center Residential

Use black or blue ink to enter answers in white spaces below or fill in electronically by clicking on fields.

**5h. Contact information for all adjoining property owners, lessees, etc.** [\[help\]](#)

Name	Mailing Address	Tax Parcel # (if known)
RICHARD W & LINDA K KIRSCHMAN	4805 ALDRICH RD BELLINGHAM, WA 98226-9638	380202 465415
KENT D THOMAS	510 LAKEWAY DR BELLINGHAM, WA 98225-5234	380202 439365
KRISTIN M ZUANICH TR	3033 RACINE ST BELLINGHAM, WA 98226-3613	380202 408235
MASON C BAILEY	P O BOX 29061 BELLINGHAM, WA 98228-1061	380202 369221
MICHAEL B JACOBSEN	5017 LAKEHURST LN SE BELLEVUE, WA 98006-2649	380202 314234
MICHAEL B JACOBSEN	5017 LAKEHURST LN SE BELLEVUE, WA 98006-2649	380202 281234
LOWELL G & NANCY RADDER WILLIAM E KRAMER & JERELYN J KRAMER	2546 LUMMI VIEW DR BELLINGHAM, WA 98226-9239	380202 209221
DONALD J WOLFE	4712 NORTHWEST DR BELLINGHAM, WA 98226-9019	380202 141293

If you require this document in another format, contact The Governor's Office of Regulatory Assistance (ORA). People with hearing loss can call 711 for Washington Relay Service. People with a speech disability can call (877) 833-6341.

ORA publication number: ENV-022-09

JARPA 2009 Attachment C: Contact information for adjoining property owners, lessees, etc. (see JARPA question 5h)

Page 1 of 1





2010



US Army Corps  
of Engineers  
Seattle District

**WASHINGTON STATE**  
**Joint Aquatic Resources Permit**  
**Application (JARPA) Form** [\[help\]](#)

**JARPA Attachment D:**  
**Construction sequence** [\[help\]](#)

Use this attachment only if your project will be constructed in phases or stages. Complete the outline showing the construction sequence and timing of activities, including the start and end dates of each phase or stage.

Due to the size of the projects, both construction of the project site(s) and installation of mitigation activities both on- and off-site will be phased. Due to the size of the off-site mitigation project it would be difficult to obtain and install all material in one season. Additionally, one year of hydrology monitoring is proposed in all creation areas prior to planting to ensure adequate hydrology and rectify any deficiencies through additional earthwork prior to planting. All creation areas shall be left un-planted through one wet season to monitoring hydrology in order to ensure hydrology performance standards are being met. Timing and actions to be performed during each phase of mitigation installation as shown below and in Page 46 and Table 15 of the Mitigation Report.

**Summary of the Implementation Schedule for Impacts and Mitigation**

Year	Impact	On-site Mitigation	Off-site Mitigation
2014	Up to 5.50 ac of fill (~71% of proposed fill)	-1.82 ac wetland enhancement -3.61ac buffer enhancement -Earthwork in Wetland M -Install all habitat features -Weed control	-Weed control -7.71ac wetland creation earthwork -Install all habitat features -Trail sub-grade installation
2015	Remaining fill or up to 2.2 ac (~29% of proposed fill)	-Hydrology monitoring -Continue weed control	-Hydrology monitoring -20.66 ac wetland enhancement -9.39 ac buffer enhancement -Continue weed control
2016	none	-1.61 ac wetland enhancement -4.05 ac buffer enhancement	-Plant 7.71 ac wetland creation

If you require this document in another format, contact The Governor's Office of Regulatory Assistance (ORA). People with hearing loss can call 711 for Washington Relay Service. People with a speech disability can call (877) 833-6341.  
ORA publication number: ENV-023-09

AGENCY USE ONLY

Date received:

Agency reference #: \_\_\_\_\_

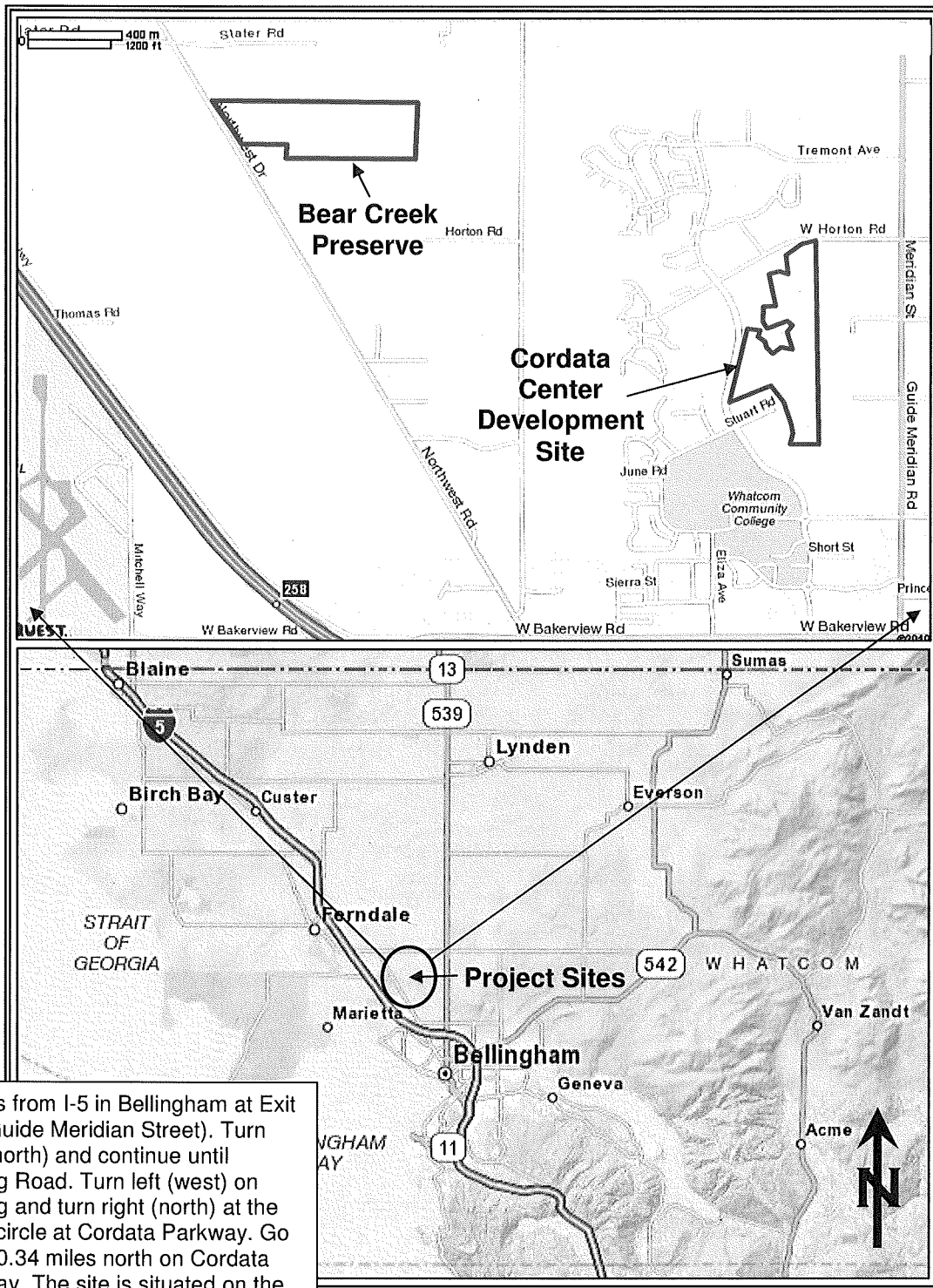
Tax Parcel #(s): \_\_\_\_\_

TO BE COMPLETED BY APPLICANT [\[help\]](#)

Project Name: Cordata Center Residential



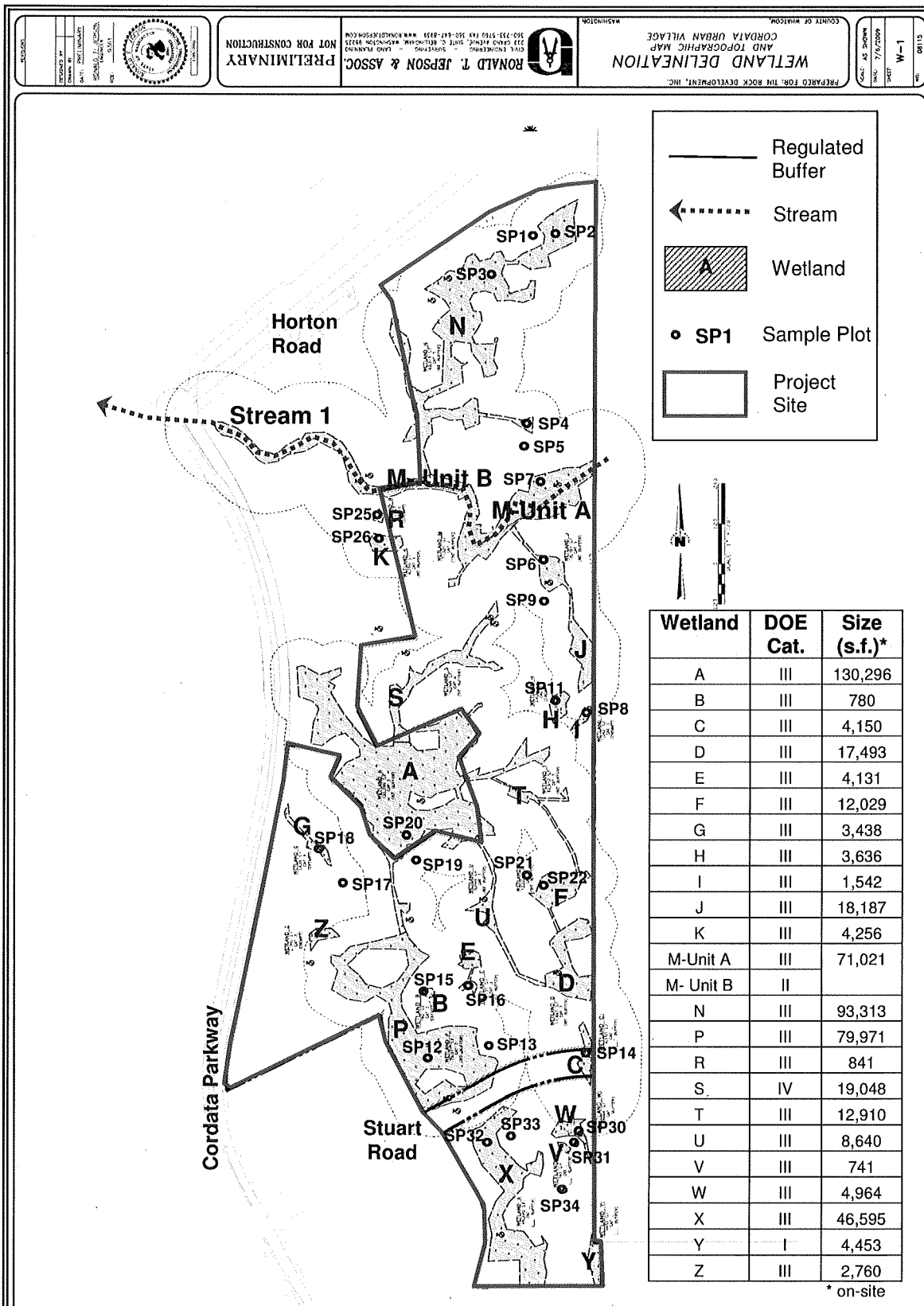




Access from I-5 in Bellingham at Exit 256 (Guide Meridian Street). Turn right (north) and continue until Kellogg Road. Turn left (west) on Kellogg and turn right (north) at the traffic circle at Cordata Parkway. Go about 0.34 miles north on Cordata Parkway. The site is situated on the east side of Cordata Parkway between Stuart Road and Horton Road.

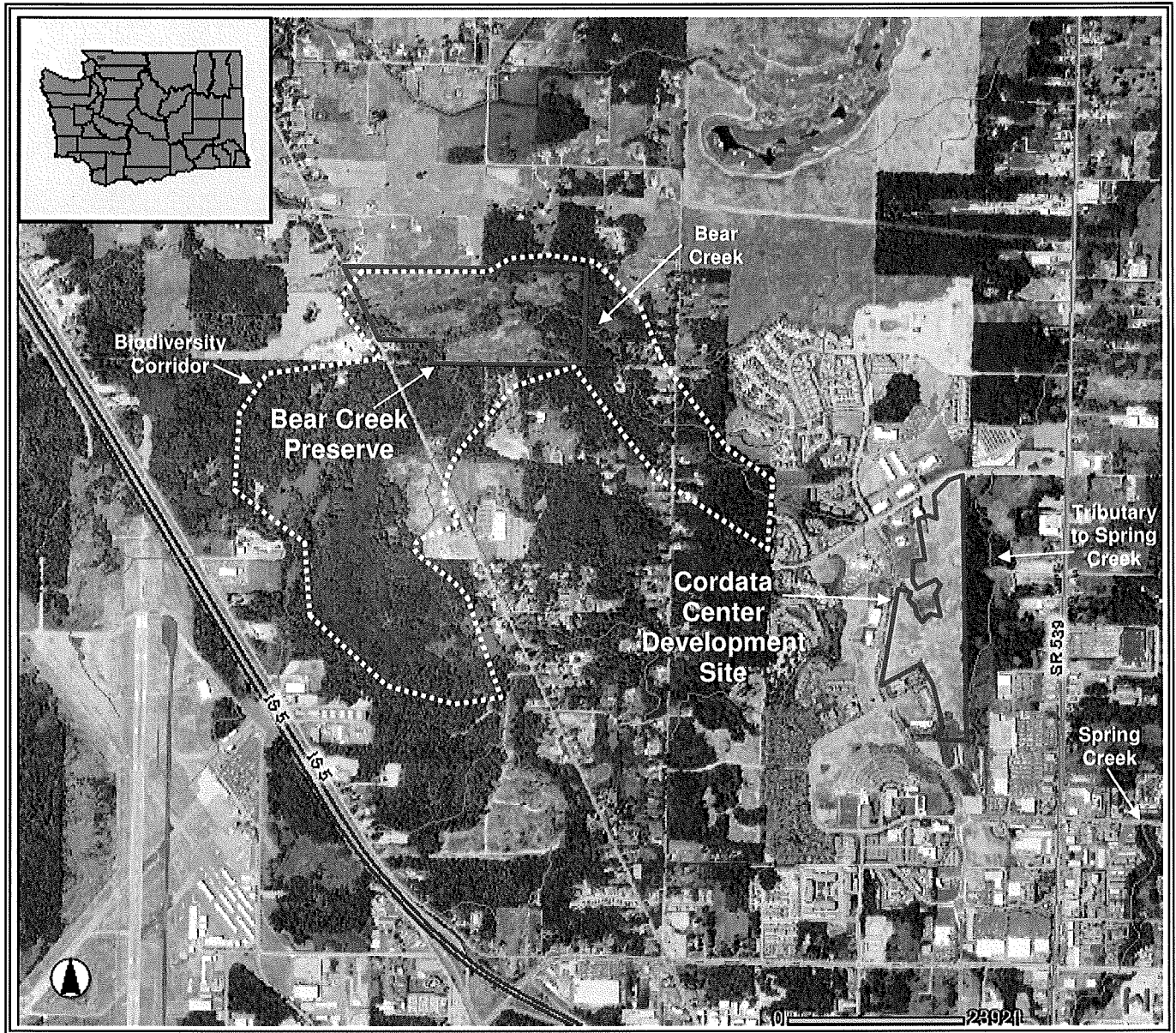
<b>Purpose:</b> Residential Development <b>Applicant:</b> Tin Rock Development <b>Project #:</b> NWS-2010-1144 <b>Adjacent Prop. Owners:</b> See JARPA <b>Date:</b> 01/08/2014	<b>Cordata Center Residential</b>  <b>Vicinity Map</b>	<b>In:</b> Wetlands <b>Location:</b> Cordata Parkway, Bellingham, <b>Sec/Twp/Rng:</b> 1 and 12/38N/02E <b>County:</b> Whatcom <b>State:</b> WA <div style="text-align: right;">Sheet 1 of 18</div>
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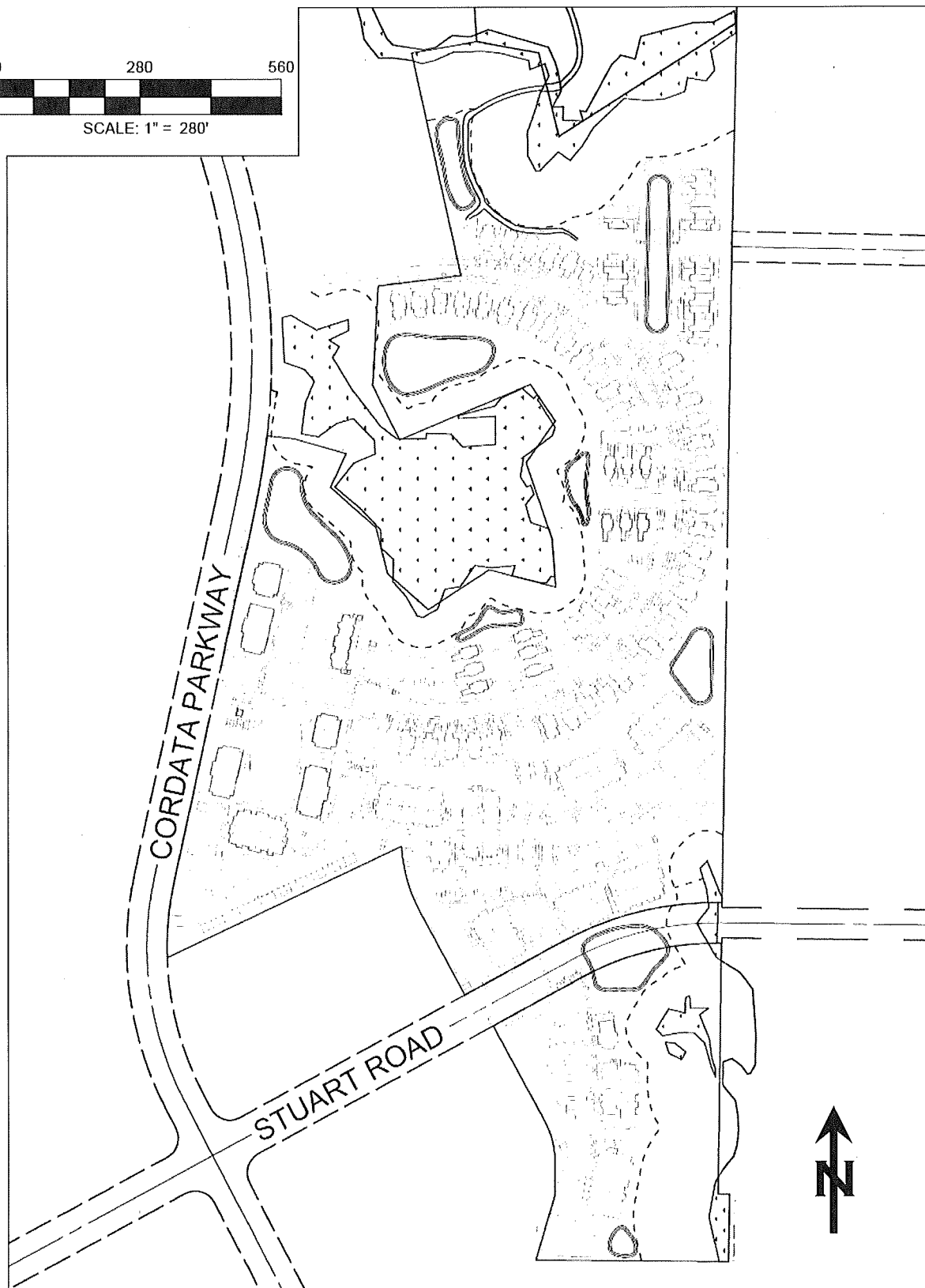
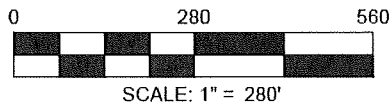
<b>Purpose:</b> Residential Development <b>Applicant:</b> Tin Rock Development <b>Project #:</b> NWS-2010-1144 <b>Adjacent Prop. Owners:</b> See JARPA <b>Date:</b> 01/08/2014	<b>Cordata Center Residential</b>  <b>Wetland Map</b>	<b>In:</b> Wetlands <b>Location:</b> Cordata Parkway, Bellingham, <b>Sec/Twp/Rng:</b> 1 and 12/38N/02E <b>County:</b> Whatcom <b>State:</b> WA <div style="text-align: right;">Sheet 2 of 18</div>
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<b>Purpose:</b> Residential Development <b>Applicant:</b> Tin Rock Development <b>Project #:</b> NWS-2010-1144 <b>Adjacent Prop. Owners:</b> See JARPA <b>Date:</b> 01/08/2014	<b>Cordata Center Residential</b>  <b>Aerial Photograph</b>	<b>In:</b> Wetlands <b>Location:</b> Cordata Parkway, Bellingham, <b>Sec/Twp/Rng:</b> 1 and 12/38N/02E <b>County:</b> Whatcom <b>State:</b> WA <div style="text-align: right;">Sheet 3 of 18</div>
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**Purpose:** Residential Development  
**Applicant:** Tin Rock Development  
**Project #:** NWS-2010-1144  
**Adjacent Prop. Owners:** See JARPA  
**Date:** 01/08/2014

**Cordata Center Residential**

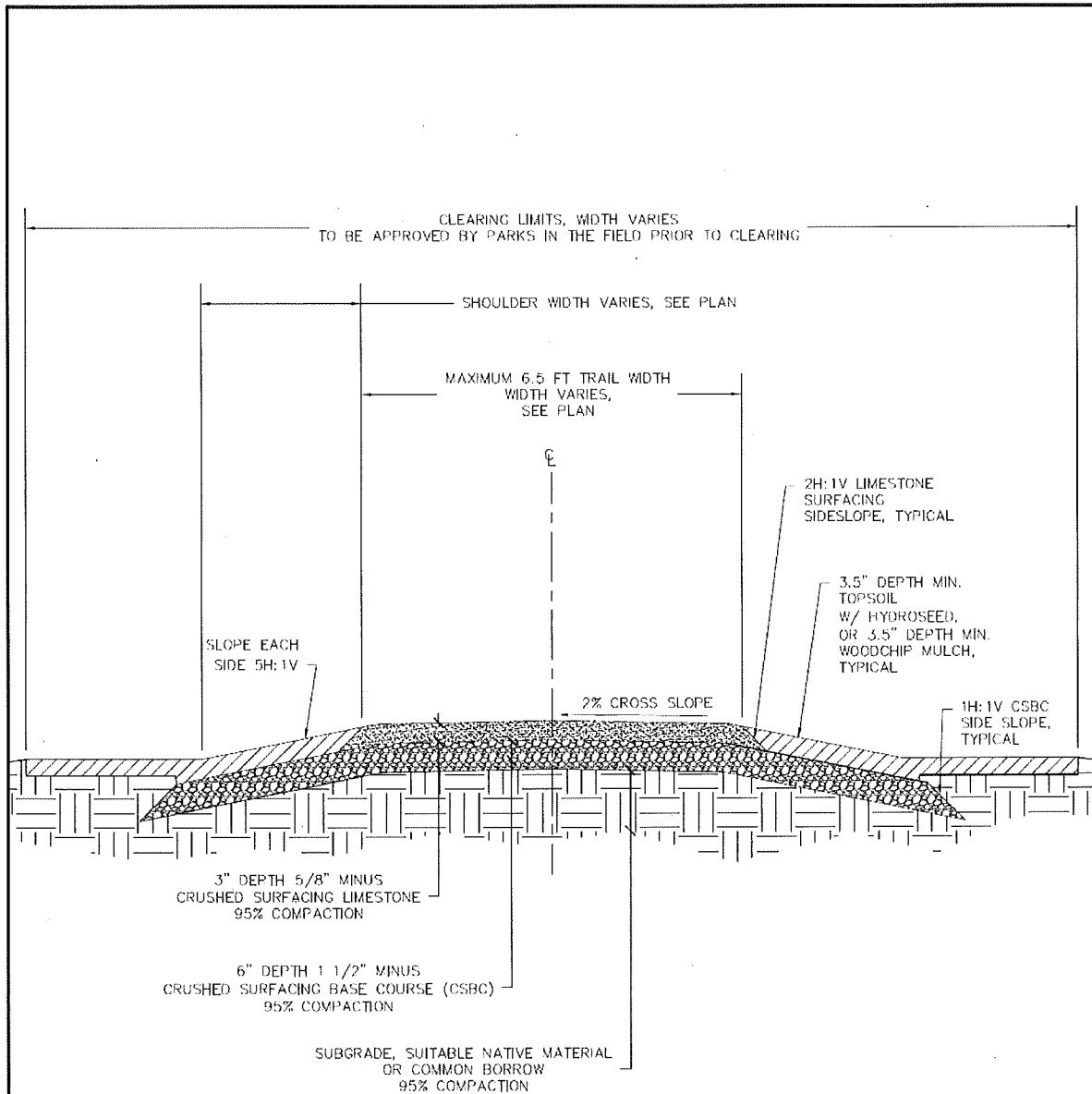
**Site Plan**

**In:** Wetlands  
**Location:** Cordata Parkway, Bellingham,  
**Sec/Twp/Rng:** 1 and 12/38N/02E  
**County:** Whatcom **State:** WA

Sheet 4 of 18







NOTES:

- A. TRAIL DETAIL SHOWN DOES NOT INCLUDE STORMWATER DESIGN. STORMWATER DESIGN MUST BE COMPLETED IN ACCORDANCE WITH APPLICABLE CODES.
- B. DRAINAGE DITCH PARALLEL TO TRAIL MAY BE REQUIRED FOR STORMWATER DESIGN. MINIMUM DITCH WIDTH IS 3 FT. OR AS APPROVED BY PARKS MANAGER. SLOPE EACH SIDE OF CENTERLINE OF DITCH WITH MAXIMUM SIDE SLOPE OF 4H:1V OR AS OTHERWISE NOTED.
- C. WHERE TRAIL IS LOCATED OVER BURIED UTILITIES, THE ENTIRE UTILITY TRENCH SHALL BE BACKFILLED WITH IMPORTED GRAVEL AND COMPACTED TO 95% MAXIMUM DENSITY.
- D. SECTION SHOWN IS FOR TYPICAL CONDITIONS. TRAIL MAY BE MODIFIED TO ACCOMMODATE SITE SPECIFIC REQUIREMENTS.
- E. CRUSHED SURFACING BASE COURSE DEPTH AND SIZE OF AGGREGATE SHOWN IS MINIMUM REQUIREMENT. ACTUAL DEPTH OF AGGREGATE MAY VARY PER SITE SPECIFIC CONDITIONS.
- F. STAKE TRAIL ALIGNMENT AND TRAIL CLEARING LIMITS IN THE FIELD BEFORE CLEARING. VIOLATORS WILL BE FINED. SEE BMC13.40.150.
- G. SUBGRADE COMPACTION MUST BE CERTIFIED BY A GEOTECHNICAL ENGINEER.
- H. TRAIL WIDTH SHOWN IS MAXIMUM WIDTH. WIDTH MAY VARY ACCORDING TO SITE SPECIFIC PLAN.

PARKS AND RECREATION  
DESIGN AND DEVELOPMENT  
JANUARY 7, 2010

CITY OF BELLINGHAM  
NARROW TRAIL  
Scale: NTS

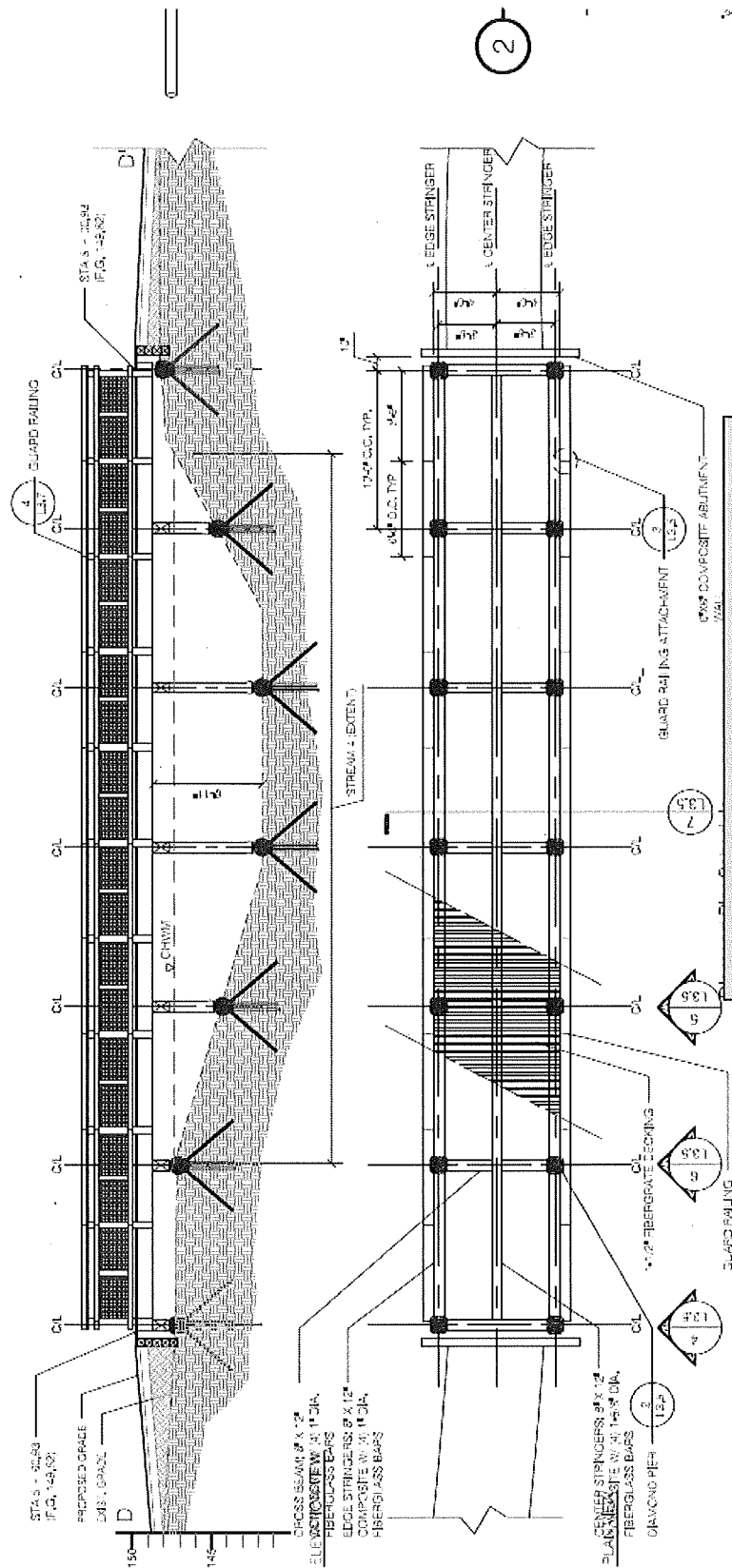
DRAWING  
2505.02

**Purpose:** Residential Development  
**Applicant:** Tin Rock Development  
**Project #:** NWS-2010-1144  
**Adjacent Prop. Owners:** See JARPA  
**Date:** 01/08/2014

**Cordata Center Residential**  
  
**Secondary Trail  
Cross Section**

**In:** Wetlands  
**Location:** Cordata Parkway, Bellingham,  
**Sec/Twp/Rng:** 1 and 12/38N/02E  
**County:** Whatcom **State:** WA  
Sheet 5 of 18



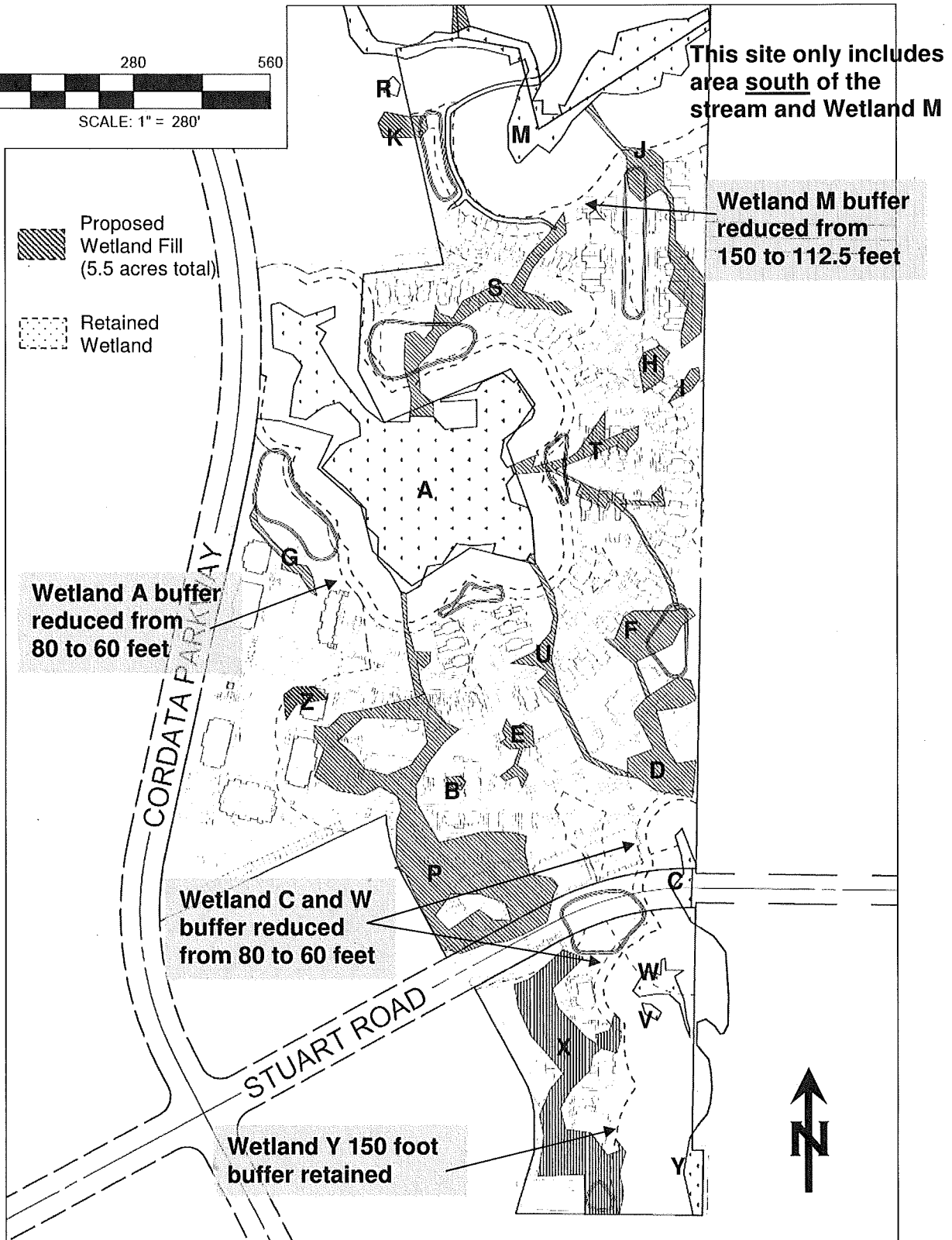
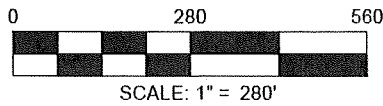


Boardwalk Detail map by Geiger  
 Engineers was not drawn for this project.  
 This figure was drawn for a City of  
 Bellingham Parks Project/ Cordata Park.  
 This figure is intended as a conceptual  
 boardwalk design only.

BOARDWALK

<b>Purpose:</b> Residential Development <b>Applicant:</b> Tin Rock Development <b>Project #:</b> NWS-2010-1144 <b>Adjacent Prop. Owners:</b> See JARPA <b>Date:</b> 01/08/2014	<b>In: Wetlands</b> <b>Location:</b> Cordata Parkway, Bellingham, <b>Sec/Twp/Rng:</b> 1 and 12/38N/02E <b>County:</b> Whatcom <b>State:</b> WA <b>Sheet 6 of 18</b>
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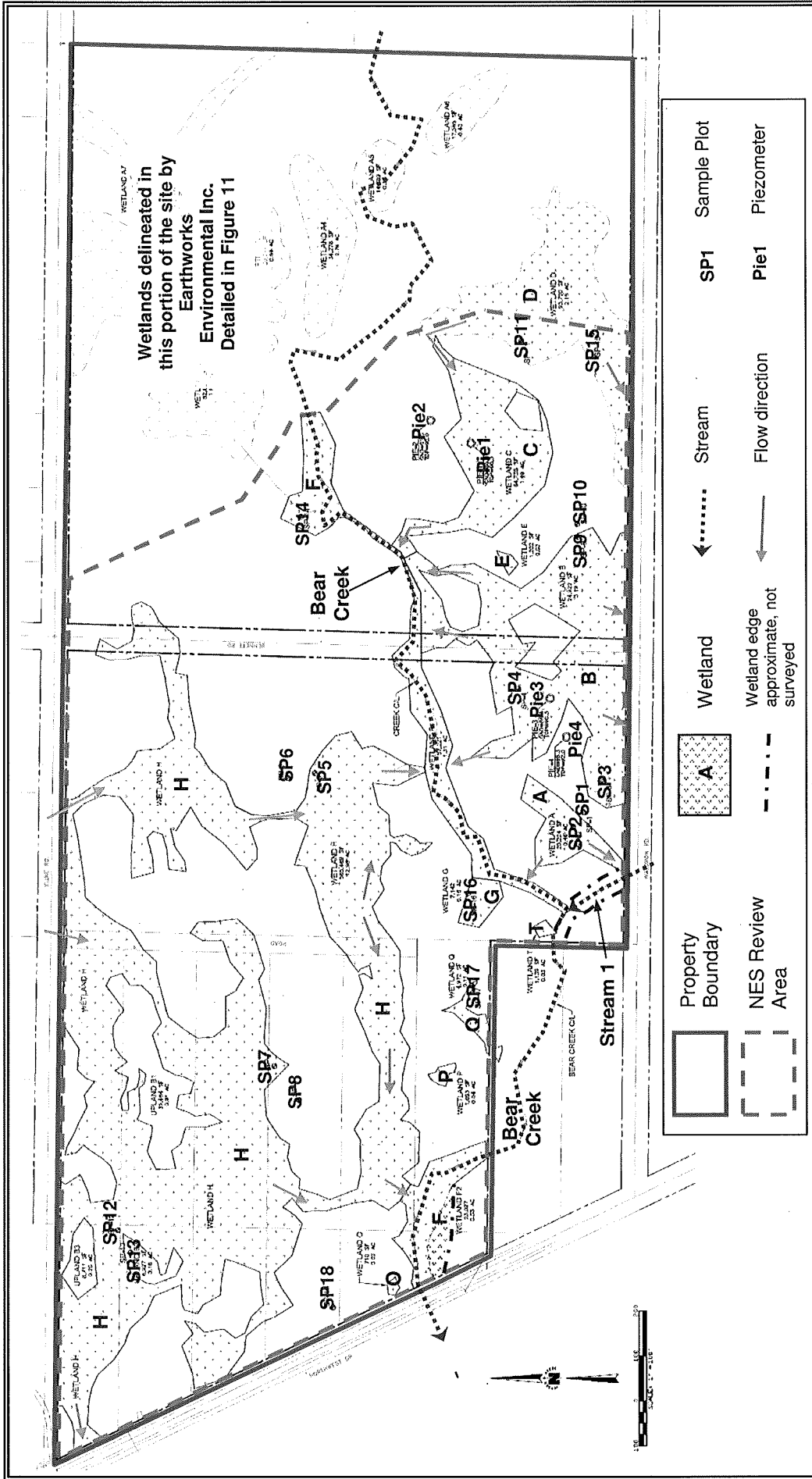
**Purpose:** Residential Development  
**Applicant:** Tin Rock Development  
**Project #:** NWS-2010-1144  
**Adjacent Prop. Owners:** See JARPA  
**Date:** 01/08/2014

**Cordata Center Residential**  
  
**Proposed Impacts Map**

**In:** Wetlands  
**Location:** Cordata Parkway, Bellingham,  
**Sec/Twp/Rng:** 1 and 12/38N/02E  
**County:** Whatcom **State:** WA

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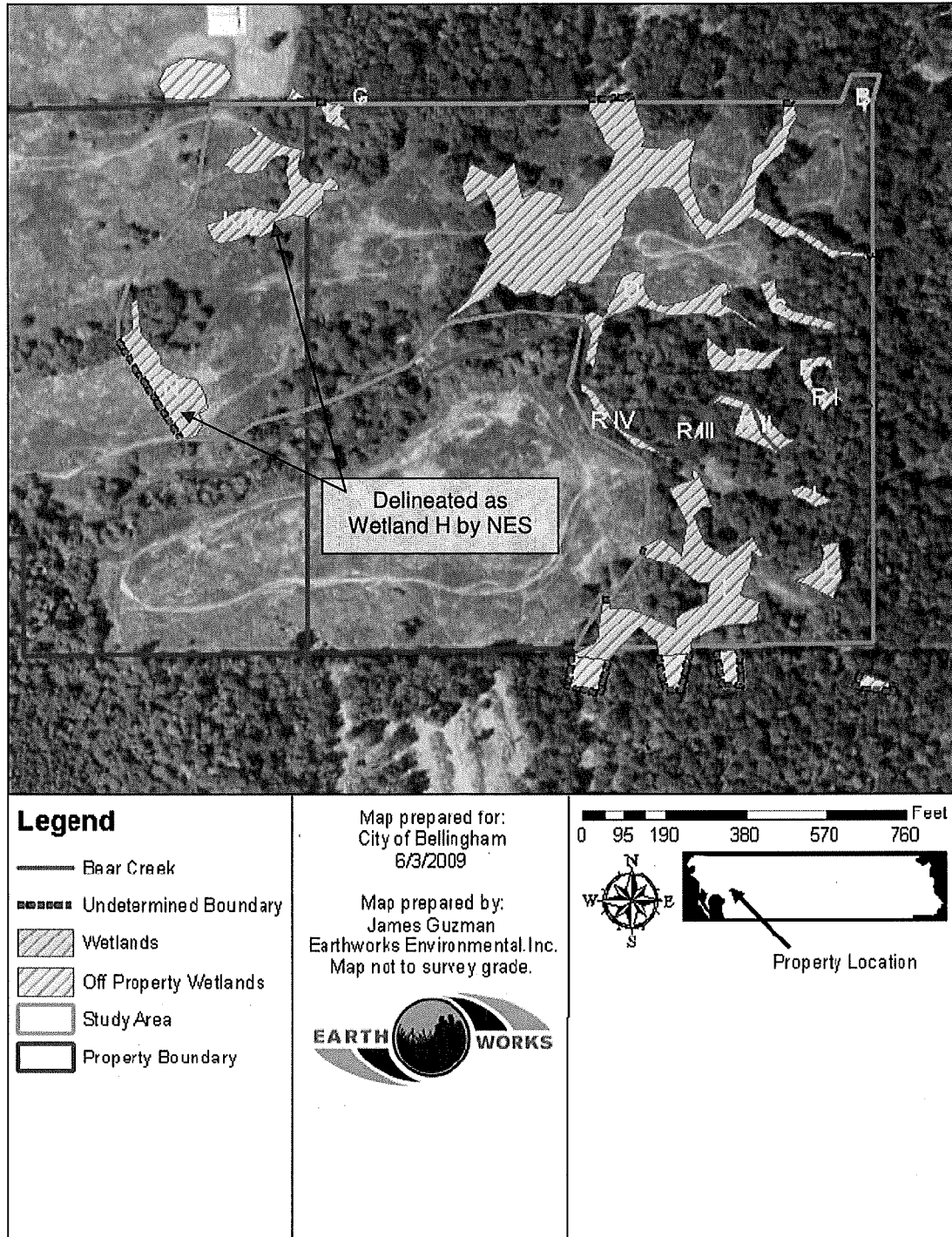


<b>Purpose:</b> Residential Development <b>Applicant:</b> Tin Rock Development <b>Project #:</b> NWS-2010-1144 <b>Adjacent Prop. Owners:</b> See JARPA <b>Date:</b> 01/08/2014	<b>Cordata Center Residential</b>  <b>Bear Creek Preserve</b> <b>Wetland Map</b>	<b>In: Wetlands</b> <b>Location:</b> Cordata Parkway, Bellingham, <b>Sec/Twp/Rng:</b> 1 and 12/38N/02E <b>County:</b> Whatcom <b>State:</b> WA <b>Sheet 8 of 18</b>
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**Figure 1.** Wetland and stream map within the study area (portions of Whatcom County tax parcels #380202-333346 and 380202-150361).



**Purpose:** Residential Development  
**Applicant:** Tin Rock Development  
**Project #:** NWS-2010-1144  
**Adjacent Prop. Owners:** See JARPA  
**Date:** 01/08/2014

**Cordata Center Residential**  
**Wetland Map for East Section**  
**of Bear Creek Preserve**  
**from the Earthworks Recon**

**In:** Wetlands  
**Location:** Cordata Parkway, Bellingham,  
**Sec/Twp/Rng:** 1 and 12/38N/02E  
**County:** Whatcom **State:** WA

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## Easement Area C

RONALD T. JEPSON & ASSOCIATES

REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS

## Easement Locations

Sheet 10 of 18

Northwest Ecological Services, LLC 1911 C Street, Bellingham, WA 98225 360.734.9484 [www.nwecological.com](http://www.nwecological.com)

02113

WETLAND EXHIBIT/AREA TABULATION  
NORTHWEST DR. & WALDRON RD.

26

**DATE**

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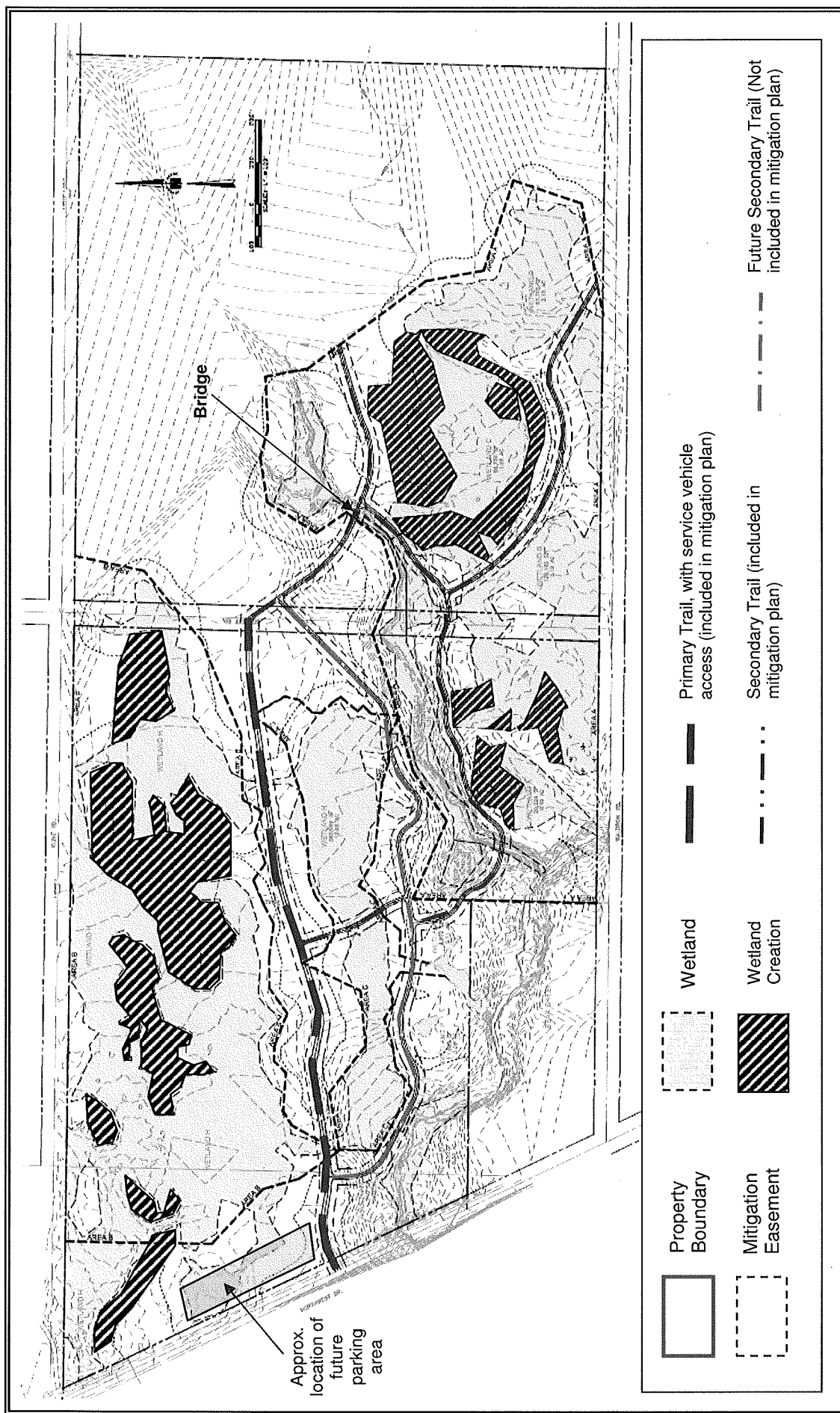
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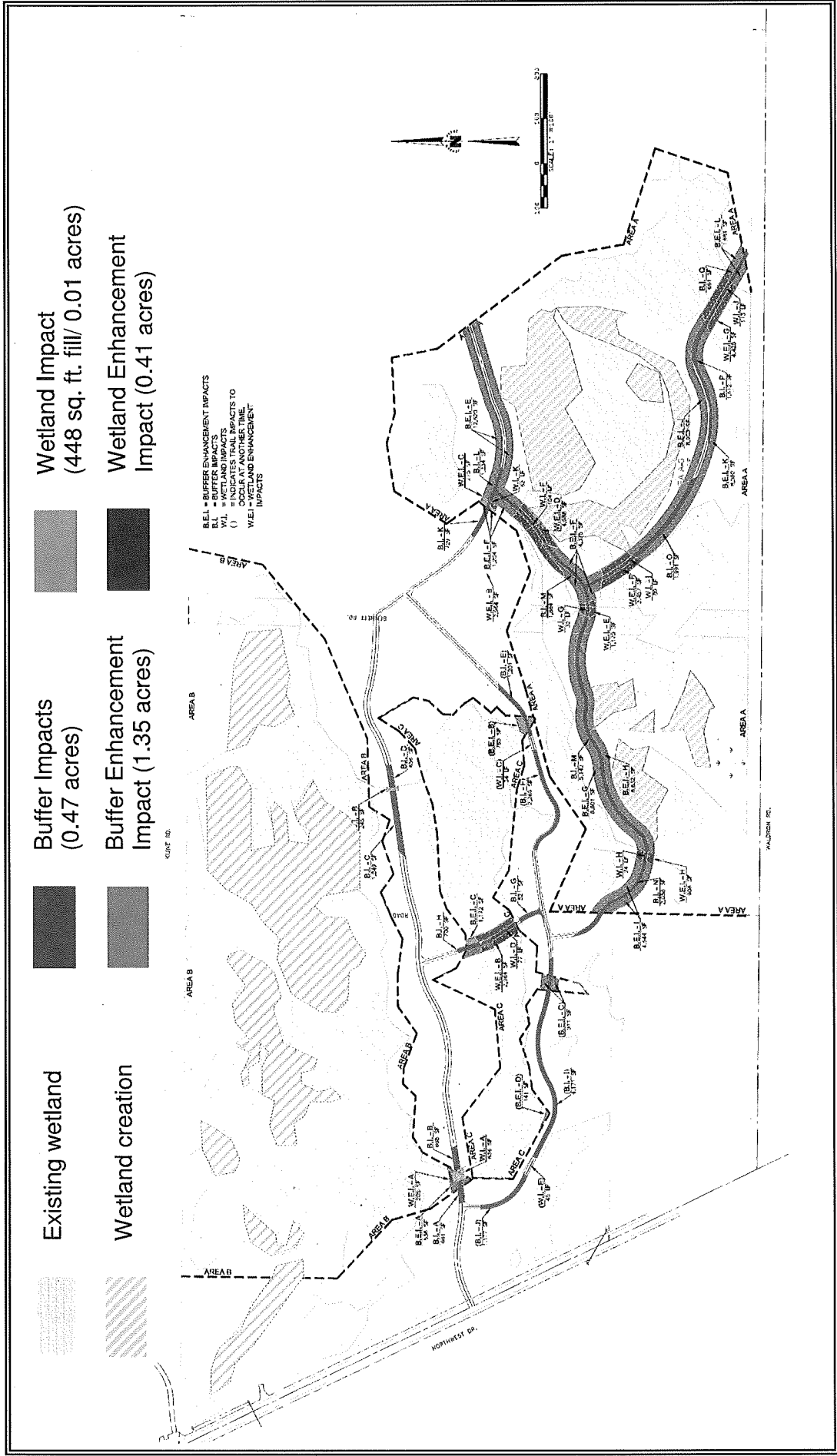


**Purpose:** Residential Development  
**Applicant:** Tin Rock Development  
**Project #:** NWS-2010-1144  
**Adjacent Prop. Owners:** See JARPA  
**Date:** 01/08/2014

**Cordata Center Residential**

**In:** Wetlands  
**Location:** Cordata Parkway, Bellingham,  
**Sec/Twp/Rng:** 1 and 12/38N/02E  
**County:** Whatcom **State:** WA  
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<b>Purpose:</b> Residential Development <b>Applicant:</b> Tin Rock Development <b>Project #:</b> NWS-2010-1144 <b>Adjacent Prop. Owners:</b> See JARPA <b>Date:</b> 01/08/2014	<b>Cordata Center Residential</b>  <b>Bear Creek Preserve</b> <b>Trail Impacts Map</b>	<b>In: Wetlands</b> <b>Location:</b> Cordata Parkway, Bellingham, <b>Sec/Twp/Rng:</b> 1 and 12/38N/02E <b>County:</b> Whatcom <b>State:</b> WA <b>Sheet 12 of 18</b>
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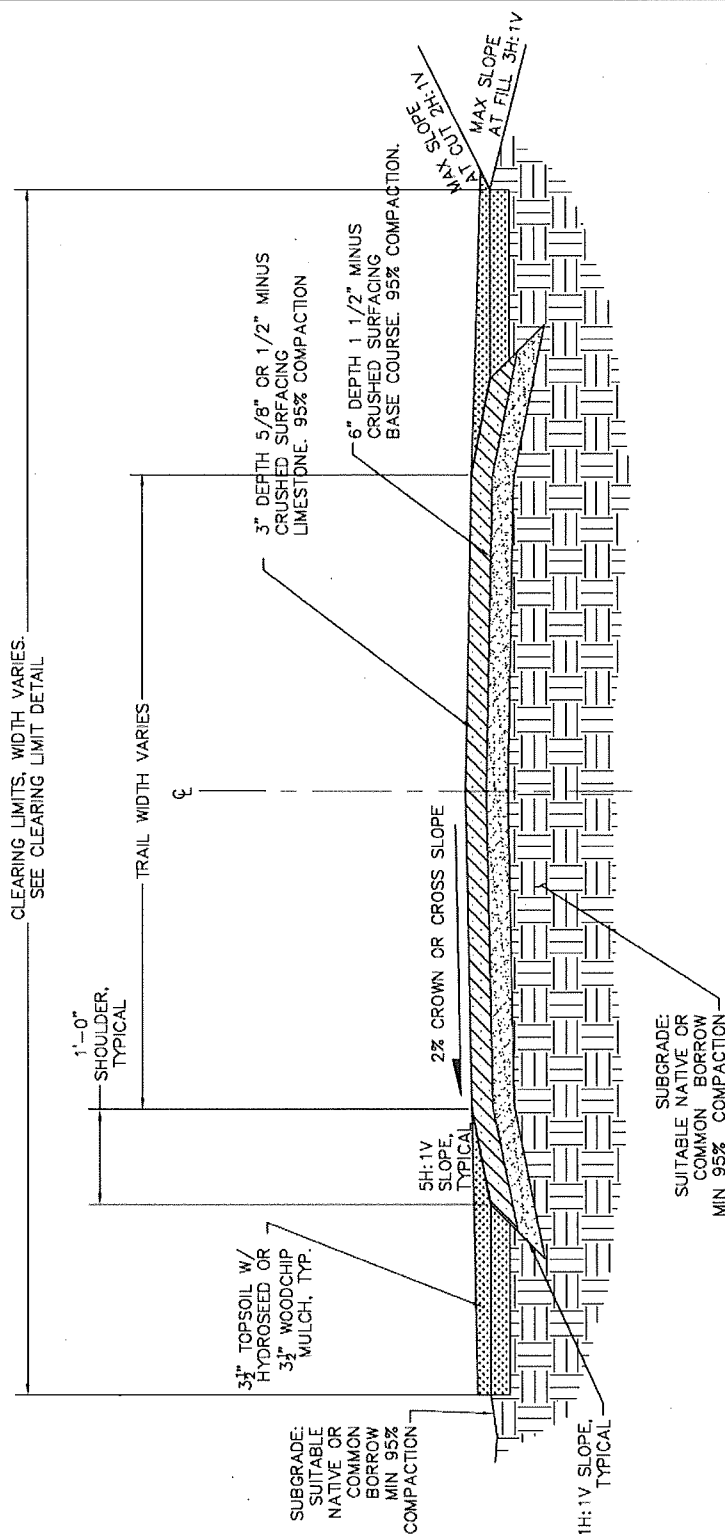


# PARKS AND RECREATION DESIGN AND DEVELOPMENT

REV. November 13, 2006

CITY OF BELLINGHAM  
TRAIL SECTION  
3/8" = 1'-0"

DRAWING  
2505.01



## NOTES:

- WHERE TRAIL IS LOCATED OVER BURIED UTILITIES, THE ENTIRE TRENCH SHALL BE BACKFILLED WITH IMPORTED GRAVEL AND COMPACTED TO 95% MAXIMUM DENSITY.
- SECTION SHOWN IS FOR TYPICAL CONDITIONS. TRAIL MAY BE MODIFIED TO ACCOMMODATE SITE SPECIFIC REQUIREMENTS.
- DRAINAGE DITCH PARALLEL TO TRAIL MAY BE REQUIRED FOR STORMWATER DESIGN. MINIMUM WIDTH OF DITCH IS 3 FT OR AS APPROVED BY PARKS AND RECREATION. BANK SLOPE EACH SIDE OF CENTERLINE OF DITCH WITH MAX SIDE SLOPES OF 4H:1V
- CRUSHED SURFACING BASE COURSE DEPTH AND SIZE OF AGGREGATE SHOWN IS MINIMUM REQUIREMENT. ACTUAL SIZE AGGREGATE MAY VARY PER SITE SPECIFIC CONDITIONS.
- STAKE ALIGNMENT AND CLEARING LIMITS IN THE FIELD PRIOR TO CLEARING. VIOLATORS WILL BE FINED. BMC 13.40.150
- SUBGRADE COMPACTION MUST BE CERTIFIED BY A GEOTECHNICAL ENGINEER.

**Purpose:** Residential Development  
**Applicant:** Tin Rock Development  
**Project #:** NWS-2010-1144  
**Adjacent Prop. Owners:** See JARPA  
**Date:** 01/08/2014

**Cordata Center Residential**

**Bear Creek Preserve  
Primary Trail Cross Section**

**In: Wetlands**

**Location:** Cordata Parkway, Bellingham,  
**Sec/Twp/Rng:** 1 and 12/38N/02E

**County:** Whatcom

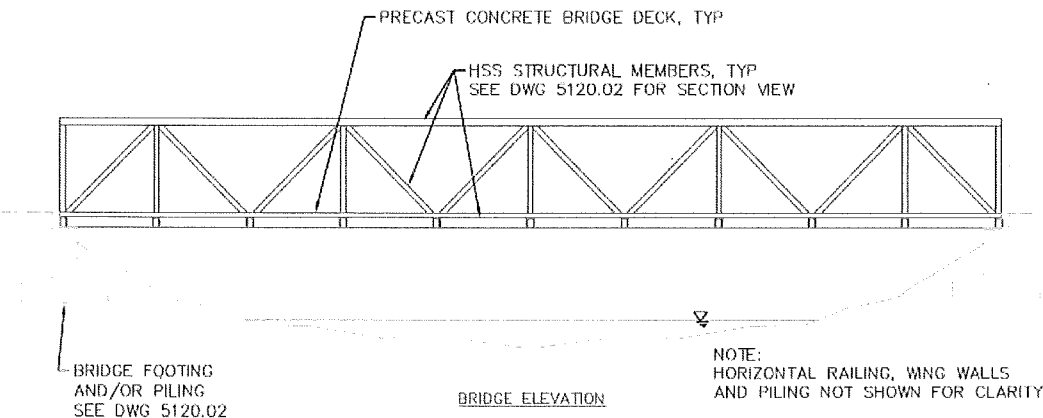
**State:** WA

Sheet 13 of 18



**MANUFACTURED PEDESTRIAN BRIDGE**

- A. BRIDGE DESIGN SHALL BE STANDARD TRUSS CONSTRUCTED OF WEATHERED HSS STRUCTURAL STEEL WITH A CONCRETE BRIDGE DECK AS SHOWN BELOW.
- B. ALL CONSTRUCTION AND DESIGN IS TO BE IN ACCORDANCE WITH THE PROVISIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AS ADOPTED BY THE CITY OF BELLINGHAM.
- C. PROVIDE A COMPLETE, INTEGRATED SET OF BRIDGE MANUFACTURER'S STANDARD COMPONENTS THAT FORM A BRIDGE. INCLUDE PRIMARY AND SECONDARY FRAMING AND ACCESSORIES.
- D. INFORMATION ON THIS DRAWING ESTABLISHES REQUIREMENTS FOR SYSTEM'S AESTHETIC EFFECTS, AS INDICATED BY SIZES, RELATIONSHIPS AND PROFILES OF COMPONENTS.
  1. DO NOT MODIFY INTENDED AESTHETIC EFFECTS, AS JUDGED SOLELY BY PARK PROJECT MANAGER, EXCEPT WITH PRIOR APPROVAL BY PARK PROJECT MANAGER. IF MODIFICATIONS ARE PROPOSED, SUBMIT COMPREHENSIVE EXPLANATORY DATA FOR REVIEW.
- E. MANUFACTURER QUALIFICATIONS: A FIRM WITH AT LEAST FIVE YEARS EXPERIENCE IN MANUFACTURING PEDESTRIAN BRIDGE SYSTEMS SIMILAR TO THOSE INDICATED FOR THE PROJECT. THE FIRM SHALL BE AISC CERTIFIED FOR THIS TYPE OF CONSTRUCTION.
  1. ENGINEERING RESPONSIBILITY: PROVIDE COMPREHENSIVE ENGINEERING ANALYSIS AND DESIGN BY A QUALIFIED STRUCTURAL ENGINEER REGISTERED WITH WASHINGTON STATE (HEREAFTER REFERRED TO AS "STRUCTURAL ENGINEER").
- F. PROVIDE FRAMING AND DECKING SYSTEMS CAPABLE OF WITHSTANDING THE EFFECTS OF GRAVITY AND ENVIRONMENTAL LOADS AS SPECIFIED BY STRUCTURAL ENGINEER. DESIGN FOR THERMAL MOVEMENTS WITHOUT OVER STRESSING OR FAILURE OF COMPONENTS OR CONNECTIONS.
- G. BRIDGE SYSTEM DESIGN: AS SPECIFIED BY STRUCTURAL ENGINEER
  1. PRIMARY FRAME TYPE: PARALLEL CHORD TRUSS WITH VERTICAL ENDS BUILT UP OF HSS STEEL SECTIONS AS INDICATED ON DRAWINGS IN PRATT, FINK, OR WARREN WEB CONFIGURATIONS. OVERHEAD (PORTAL) BRACING IS PROHIBITED.
  2. DESIGN THE BRIDGE TO HAVE DEPTHS, SPANS, CLEARANCES AND GENERAL CONFIGURATIONS AS SHOWN. NOMINAL CHANGES TO SUIT THE MANUFACTURER'S SYSTEMS WILL BE ACCEPTED PROVIDED THAT THE INSIDE CLEARANCE, MINIMUM SPAN AND REQUIRED TOP OF RAIL HEIGHT WILL NOT CHANGE. THE BRIDGE SHALL BE DESIGNED TO ACCOMMODATE FLOOD STAGE REQUIRED BY THE REGULATORY AGENCIES. NO PORTION OF THE STRUCTURE SHALL BE ALLOWED BELOW BOTTOM OF STEEL ELEVATION AS MANDATED BY THE REGULATORY AGENCIES.
- H. DECK SYSTEM DESIGN: THE DECK SYSTEM WILL BE CAST-IN-PLACE OR PRECAST CONCRETE. FINISH SHALL BE MEDIUM-COARSE BROOM FINISH. IF CAST-IN-PLACE IS USED, LEAVE-IN-PLACE FORM SYSTEMS WILL NOT BE PERMITTED.
  1. PLACEMENT OF WET CONCRETE ON THE DECK AFTER THE BRIDGE IS PLACED IN ITS FINAL LOCATION WILL NOT BE PERMITTED.
- I. PROVIDE FRAMING AND DECKING SYSTEMS CAPABLE OF WITHSTANDING THE EFFECTS OF GRAVITY AND ENVIRONMENTAL LOADS AS INDICATED BY THE STRUCTURAL ENGINEER INCLUDING DEAD, LIVE, SNOW, WIND, CONSTRUCTION, AND SEISMIC EFFECTS COMBINED AS REQUIRED BY THE APPLICABLE CODE.
- J. MINIMUM LIVE LOADS SHALL BE IN ACCORDANCE WITH THE IBC AS ADOPTED BY THE CITY OF BELLINGHAM.
- K. DESIGN FOR MINIMUM VEHICLE LOAD OF 10,000 POUNDS.
- L. SUBMIT SHOP DRAWINGS FOR ABUTMENT REINFORCEMENT AND BRIDGE STEEL.
- M. ALL STEEL SHALL BE ASTM A588 OR ASTM A847 WEATHERING STEEL EXCEPT CONCRETE REINFORCEMENT AND PILING.
- N. CAMBER SHALL BE AS SPECIFIED BY THE STRUCTURAL ENGINEER.
- O. THE BRIDGE SHALL BE DESIGNED FOR VIBRATION.
- P. WELDING: QUALIFY PERSONNEL ACCORDING TO AWS D1.1, "STRUCTURAL WELDING CODE - STEEL"
- Q. COMPLY WITH APPLICABLE PROVISIONS OF THE FOLLOWING SPECIFICATIONS AND DOCUMENTS:
  1. AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - ALLOWABLE STRESS DESIGN AND PLASTIC"
  2. ASTM A 6 "SPECIFICATION FOR GENERAL REQUIREMENTS FOR ROLLED STEEL PLATES, SHAPES, SHEETING PILING, AND BARS FOR STRUCTURAL USE"
  3. ERECTION TOLERANCES: AISC S303, "STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES"
- R. ALL EXPOSED SURFACES OF WEATHERING STEEL SHALL BE CLEANED IN ACCORDANCE WITH SSPC SP-6, COMMERCIAL BLAST CLEANING.
- S. DESIGN ABUTMENTS AND FOOTINGS. COORDINATE SIZE AND LOCATION OF CONCRETE FOUNDATIONS AND CASTING OF ANCHOR-BOLT INSERTS INTO FOUNDATION WALLS AND FOOTINGS.
- T. DESIGN COMPONENTS AND FABRICATE FRAMING TO PRODUCE CLEAN, SMOOTH CUTS AND BENDS. PUNCH ALL HOLES OF PROPER SIZE, SHAPE AND LOCATION.
- U. DESIGN AND FABRICATE ALL WEATHERING STEEL PARTS SO AS TO AVOID LOCATIONS WHICH WILL IMPEDE OR PREVENT DEVELOPMENT OF THE SURFACE OXIDE COATING.
- V. SHOP FABRICATE ALL COMPONENTS



PARKS AND RECREATION  
DESIGN AND DEVELOPMENT  
April 24, 2009

CITY OF BELLINGHAM  
PEDESTRIAN BRIDGE  
GENERAL DESIGN & NOTES

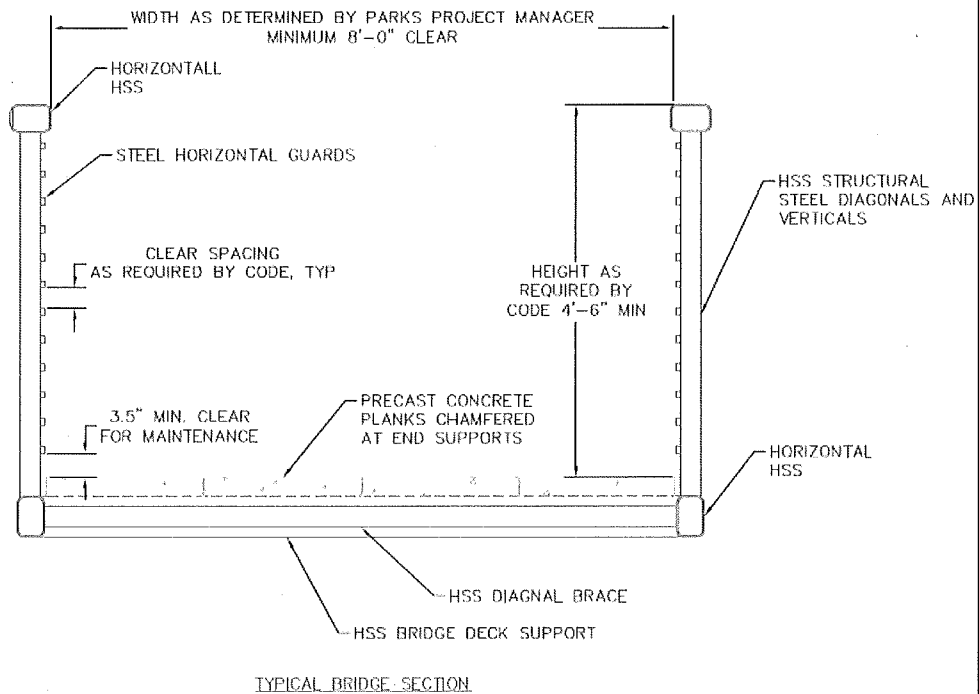
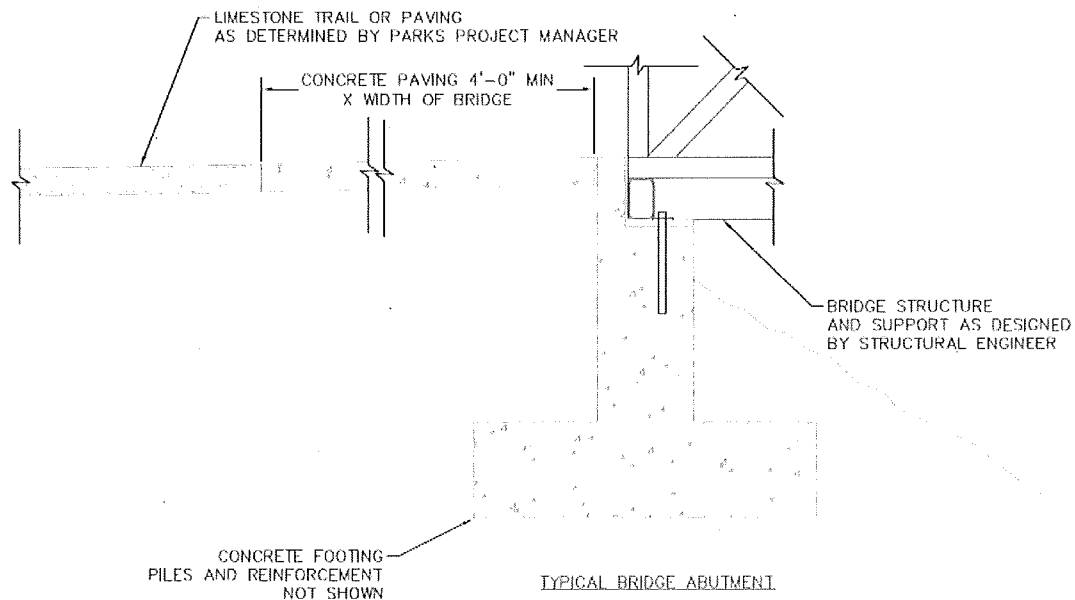
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**Purpose:** Residential Development  
**Applicant:** Tin Rock Development  
**Project #:** NWS-2010-1144  
**Adjacent Prop. Owners:** See JARPA  
**Date:** 01/08/2014

**Cordata Center Residential**  
  
**Bear Creek Preserve**  
**Conceptual Bridge Detail**  
(1 of 2)

**In:** Wetlands  
**Location:** Cordata Parkway, Bellingham,  
**Sec/Twp/Rng:** 1 and 12/38N/02E  
**County:** Whatcom **State:** WA  
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PARKS AND RECREATION  
DESIGN AND DEVELOPMENT  
June 2, 2008

CITY OF BELLINGHAM  
PEDESTRIAN BRIDGE  
ABUTMENT AND SECTION

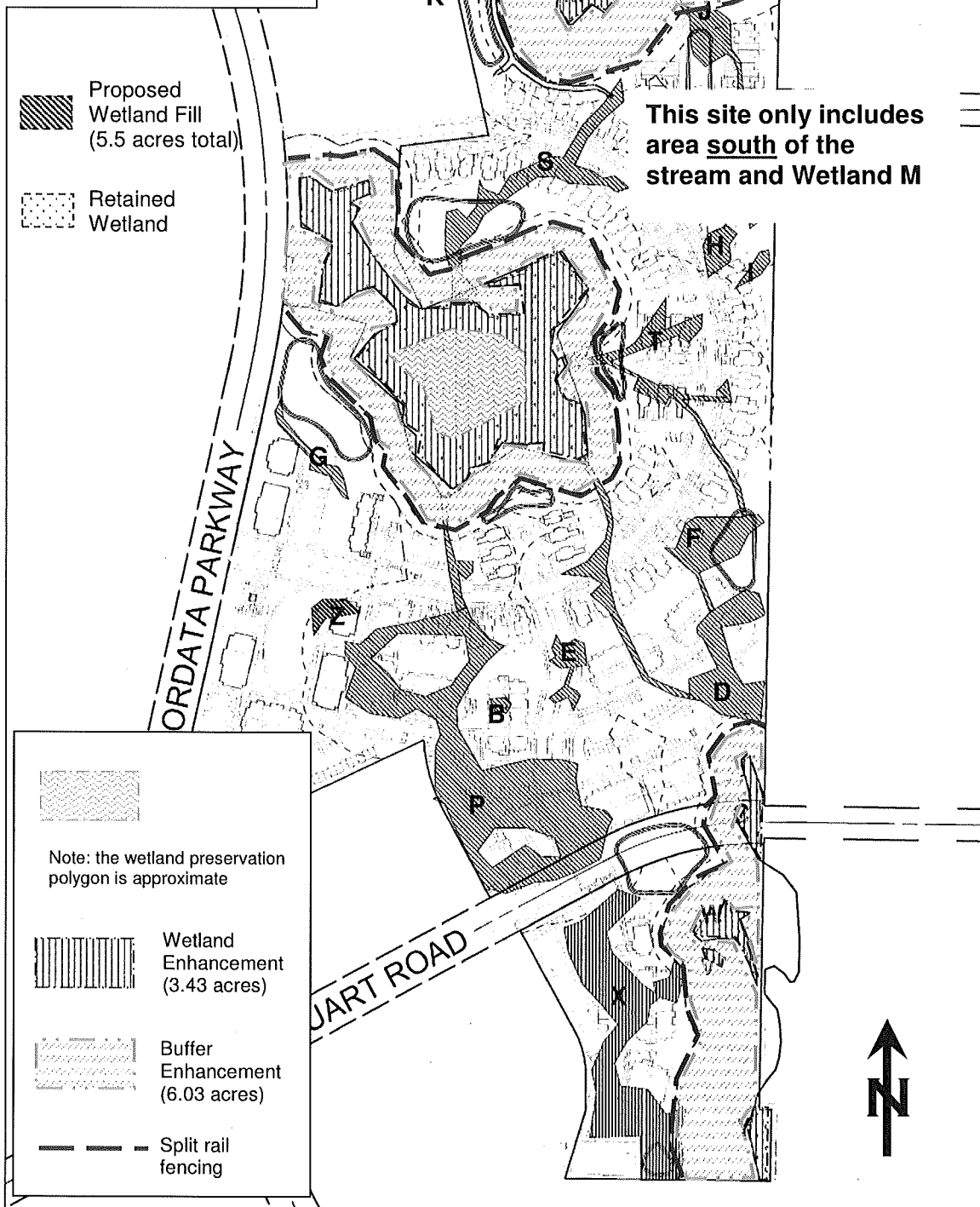
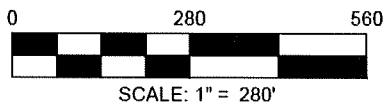
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**Purpose:** Residential Development  
**Applicant:** Tin Rock Development  
**Project #:** NWS-2010-1144  
**Adjacent Prop. Owners:** See JARPA  
**Date:** 01/08/2014

**Cordata Center Residential**  
**Bear Creek Preserve**  
**Conceptual Bridge Detail**  
(2 of 2)

**In:** Wetlands  
**Location:** Cordata Parkway, Bellingham,  
**Sec/Twp/Rng:** 1 and 12/38N/02E  
**County:** Whatcom **State:** WA  
Sheet 15 of 18





**Purpose:** Residential Development  
**Applicant:** Tin Rock Development  
**Project #:** NWS-2010-1144  
**Adjacent Prop. Owners:** See JARPA  
**Date:** 01/08/2014

**Cordata Center Residential**

**On-site Mitigation Map**

**In:** Wetlands  
**Location:** Cordata Parkway, Bellingham,  
**Sec/Twp/Rng:** 1 and 12/38N/02E  
**County:** Whatcom **State:** WA  
 Sheet 16 of 18





WETLAND CREATION (7.71 AC)

WETLAND ENHANCEMENT (20.66 AC)

BUFFER ENHANCEMENT OUTSIDE TRAIL CORRIDOR (9.39 AC)

WETLAND ENHANCEMENT IN TRAIL CORRIDOR, NO MITIGATION CREDIT (0.41 AC)

WETLAND FILL FROM TRAIL (443 SF, 0.01 AC)

BOARDWALK (4,414 SF, 0.10 AC)

EASEMENT BOUNDARY

WETLAND PRESERVATION (1.36 AC)

EXISTING WETLANDS

WETLAND/STREAM BUFFERS

BEAR CREEK CENTERLINE



100 0 100 200  
SCALE BAR AT 1:40,000  
SIZES ARE NOT TO SCALE

**RONALD T. JEPSON & ASSOCIATES**  
225 N. 4TH AVE., SUITE 200, MINNEAPOLIS, MN 55401-3400 FAX 612-338-8807  
TELEPHONE 612-338-8800  
FACSIMILE 612-338-8801



**BEAR CREEK TRAIL PARK  
MITIGATION MAP**

**Purpose:** Residential Development  
**Applicant:** Tin Rock Development  
**Project #:** NWS-2010-1144  
**Adjacent Prop. Owners:** See JARPA  
**Date:** 01/08/2014

**Cordata Center Residential**

**In:** Wetlands  
**Location:** Cordata Parkway, Bellingham,  
**Sec/Twp/Rng:** 1 and 12/38N/02E  
**County:** Whatcom **State:** WA

Northwest Ecological Services, LLC 1911 C Street, Bellingham, WA 98225 360.734.9484 [www.nwecological.com](http://www.nwecological.com)

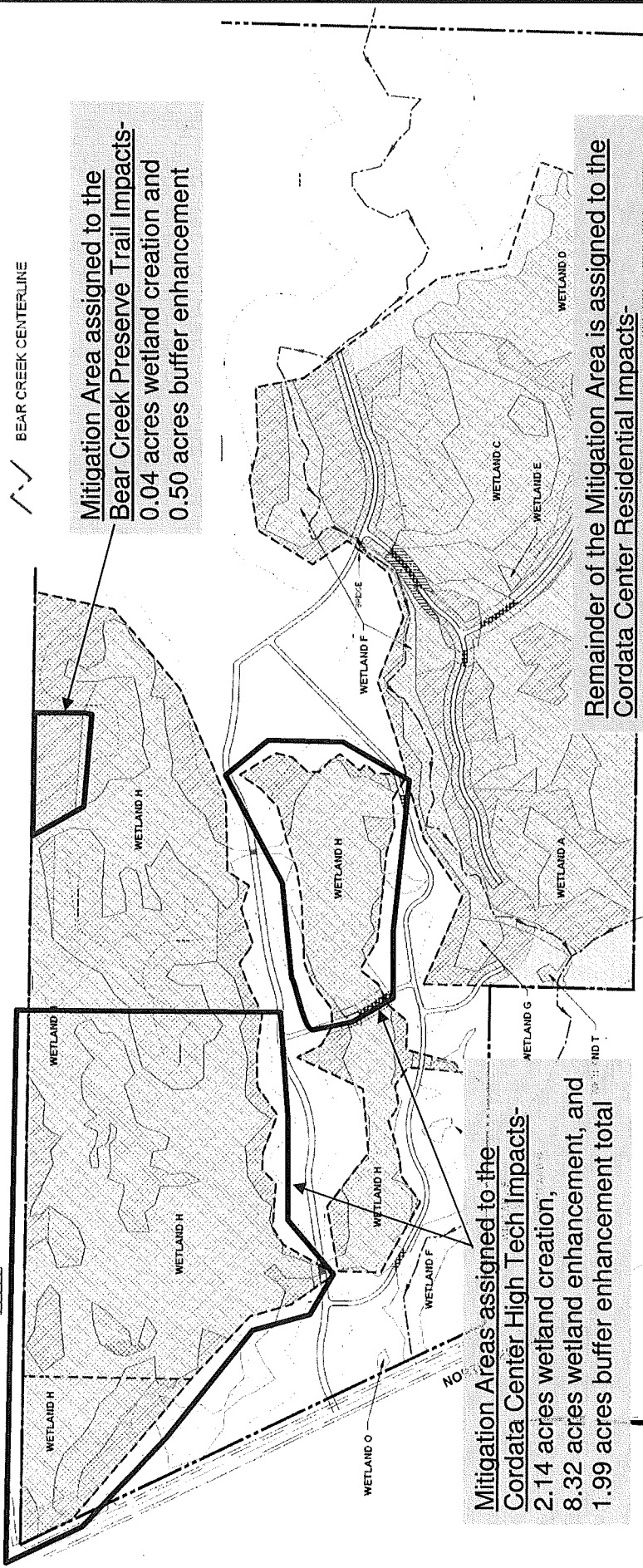


# LEGEND

- WETLAND CREATION (7.71 AC)
- WETLAND ENHANCEMENT (23.66 AC)
- WETLAND FILL FROM TRAIL (443 SF, 0.01 AC)
- BOARDWALK (4,414 SF, 0.10 AC)
- EASEMENT BOUNDARY
- TRAIL BARRIER PLANTING, 15' EACH SIDE OF TRAIL, NO MITIGATION CREDIT (1.35 AC)

- WETLAND ENHANCEMENT IN TRAIL CORRIDOR, NO MITIGATION CREDIT (0.41 AC)
- WETLAND FILL FROM TRAIL (443 SF, 0.01 AC)
- BOARDWALK (4,414 SF, 0.10 AC)
- EASEMENT BOUNDARY

- UPLAND PRESERVATION (1.36 AC)
- EXISTING WETLANDS
- WETLAND/STREAM BUFFERS
- BEAR CREEK CENTERLINE



**Mitigation Area assigned to the Bear Creek Preserve Trail Impacts-**  
0.04 acres wetland creation and 0.50 acres buffer enhancement

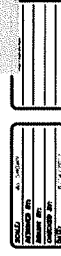
**Mitigation Areas assigned to the Cordata Center High Tech Impacts-**  
2.14 acres wetland creation, 8.32 acres wetland enhancement, and 1.99 acres buffer enhancement total

**Remainder of the Mitigation Area is assigned to the Cordata Center Residential Impacts-**  
5.53 acres wetland creation and 12.34 acres wetland enhancement, and 6.9 acres of buffer enhancement total



**RONALD T. JEPSON & ASSOCIATES**

322 THIRD AVE., SUITE 2, BELLINGHAM, WASH. 98225 TEL: 360.734.9484 FAX: 360.734.9484



**BEAR CREEK TRAIL PARK MITIGATION MAP**

**Purpose:** Residential Development  
**Applicant:** Tin Rock Development  
**Project #:** NWS-2010-1144  
**Adjacent Prop. Owners:** See JARPA  
**Date:** 01/08/2014

**Cordata Center Residential**  
**Off-site Mitigation Map**  
**With individual project mitigation area**

**In: Wetlands**  
**Location:** Cordata Parkway, Bellingham,  
**Sec/Twp/Rng:** 1 and 12/38N/02E  
**County:** Whatcom **State:** WA  
**Sheet 18 of 18**

